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AREA ANALYSIS:			PINECREST EU-1	AASAA	
LOT AREA (PER REVISED SURVEY PROVIDED) =			48,329	SQ. FT.	
BUILDING HEIGHT				35'-0"	
OVERALL BUILDING HEIGHT =				35'-0"	
FLOOD ZONE X					
LOT COVERAGE					
MAXIMUM BUILDING COVERAGE ALLOWED (20% OF LOT) =			9,665	SQ. FT.	
BUILDING COVERAGE PROVIDED =			9,607	SQ. FT.	
MAXIMUM IMPERVIOUS SURFACE RATIO ALLOWED (45% OF LOT) =			21,748	SQ. FT.	
IMPERVIOUS SURFACE AREA PROVIDED =			20,004	SQ. FT.	
IMPERVIOUS SURFACE RATIO PROVIDED (%) =			42%		
MINIMUM GREEN SPACE RATIO ALLOWED (55% OF LOT) =			26,580	SQ. FT.	
GREEN SPACE PROVIDED =			28,325	SQ. FT.	
GREEN SPACE RATIO PROVIDED (%) =			59 %		
FLOOR AREA RATIO (F.A.R.)					
MAXIMUM F.A.R. ALLOWED AT FIRST FLOOR (0.20) =			9,665	SQ. FT.	
F.A.R. FIRST FLOOR PROVIDED =			9,542	SQ. FT.	
MAXIMUM F.A.R. ALLOWED AT SECOND FLOOR (0.10) =			4,832	SQ. FT.	
F.A.R. SECOND FLOOR PROVIDED =			4,375	SQ. FT.	
ACCESSORY STRUCTURE					
ACCESSORY STRUCTURES MAY OCCUPY NO MORE THAN FIVE PERCENT OF THE TOTAL OF 20 PERCENT OF THE FLOOR AREA RATIO OF THE FIRST STORY OF THE PROPERTY.					
MAXIMUM AREA ALLOWED (0.05 OF 9,665 sq. ft.) =			483	SQ. FT.	
AREA PROVIDED =			330	SQ. FT.	
BUILDING HEIGHT PROVIDED =			18'-0" TO RIDGE OF ROOF		
REAR SETBACK PROVIDED =			25'-0"		
SIDE STREET SETBACK PROVIDED =			58'-8"		
AREA ANALYSIS:			GENERAL		
GENERAL AREAS					
FIRST FLOOR A/C =			6,086	SQ. FT.	
2ND FLOOR A/C =			3,858	SQ. FT.	
TOTAL A/C AREA:			9,944	SQ. FT.	
GARAGE AREAS =			1,228	SQ. FT.	
COVERED TERRACES, ENTRY & OPEN BALCONIES =			2,480	SQ. FT.	
ACCESSORY BUILDING =			330	SQ. FT.	
			4,038	SQ. FT.	
TOTAL GROSS AREA:			13,982	SQ. FT.	
SETBACK REQUIREMENTS:			REQUIRED	PROVIDED	
FRONT SETBACK			50'-0"	102'-10"	
REAR SETBACK			25'-0"	25'-0"	
SIDE STREET SETBACK			30'-0"	34'-9"	
INTERIOR SIDE SETBACK			20'-0"	21'-9"	
ACCESSORY BUILDING REAR SETBACK			25'-0"	25'-0"	
ACCESSORY BUILDING SIDE STREET SETBACK			25'-0"	58'-8"	

GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ANY GOVERNMENTAL AGENCIES NECESSARY IN ORDER TO ESTABLISH ANY UTILITY EASEMENTS OR LINES PRESENT WITHIN THE PROPERTY PRIOR TO PERFORMING ANY WORK.
- CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE NOTED (U.O.N.).
- ALL REINFORCING STEEL SHALL BE DEFORMED BARS, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI GRADE 60, AND MEET ASTM A-36 SPECS.
- ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPECS.
- ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS MUST FOLLOW THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES' (U.O.N.).
- STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH THE ARCHITECTURAL, A/C, ELECTRICAL AND MECHANICAL DRAWINGS, TO LOCATE OPENINGS, DRAINS, SLEEVES, SLOPES, DEPRESSED SLABS, BOLTS, CURBS, ETC.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI-301 ETC. "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."
- REMOVAL OF FORMWORK SHALL BE IN ACCORDANCE WITH ACI-347 RECOMMENDED PRACTICE FOR CONCRETE FORMWORK."
- DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
- REBARS SHOWN ON SECTIONS ARE FOR PLACEMENT DETAIL ONLY, SIZE AND QUANTITY OF REBARS ARE AS PER STRUCTURAL DRAWINGS, SCHEDULES.
- NO TIE BEAMS SHALL BE FORMED/POURED PRIOR TO TRUSS SHOP DRAWINGS APPROVAL.
- WINDOW & DOOR MANUFACTURER TO VERIFY ALL WINDOW & DOOR OPENINGS AT ON SITE PRIOR TO PRODUCING SHOP DRAWINGS AND INSTALLATION.
- ARCHITECT, INTERIOR DESIGNER AND ENGINEER'S VISITS TO THE SITE DURING CONSTRUCTION SHALL BE SCHEDULED WITH CONTRACTOR BEFORE COMMENCING OF WORK AND DURING CONSTRUCTION, SITE VISITS SHALL BE COORDINATED AT LEAST 48 HOURS IN ADVANCE PRIOR TO INSPECTION.
- VERIFY ALL DIMENSIONS ON DRAWINGS AND CONDITIONS AT JOB SITE PRIOR TO COMMENCING WORK, NOTIFY ARCHITECT OR OWNER REPRESENTATIVE OF ANY DISCREPANCIES AND SECURE AN INTERPRETATION OR DECISION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK, DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
- OBTAIN THE LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE COMMENCING WORK, NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT, OWNER OR DESIGNER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE - RESIDENTIAL 2020[®] (FBC R 2020). ALL LOCAL CODES SHALL PREVAIL.
- THE ARCHITECT DOES NOT ACCEPT RESPONSIBILITY FOR THE MISINTERPRETATION OF THESE PLANS BY OTHERS, THE REVIEW AND APPROVAL OF SHOP DRAWINGS OR PRODUCT CONTROL APPROVAL BY OTHERS.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE OWNER AND GIVEN TO HIM FOR INSTALLATION.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER, FOLLOWED BY A CHANGE ORDER.
- THE CONTRACTOR SHALL MAKE REQUIRED ARRANGEMENTS, SECURE AND PAY FOR ALL SANITARY FACILITIES, BARRICADES, ENCLOSURES, AND FENCING AS NEEDED FOR AND DURING THE PROGRESS OF CONSTRUCTION, CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES.
- DO NOT SUBSTITUTE MATERIALS, EQUIPMENTS OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER / ARCHITECT / ENGINEER.
- THE ARCHITECT / INTERIOR DESIGNER / OWNER HAS THE RIGHT TO REFUSE ANY MATERIAL AND WORKMANSHIP THAT DOES NOT MEET HIGH QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.
- CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF THE WORK, USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB.
- CONTRACTOR SHALL DELIVER THE ANNOTATED JOB RECORD SET TO THE OWNER UPON COMPLETION OF THE WORK AS A CONDITION OF ACCEPTANCE.
- CLEANING AND DEBRIS REMOVAL - THE OWNER SHALL RECEIVE THE PROPERTY FREE FROM DUST, ALL GLASS SURFACES SHALL BE CLEAN AND DEBRIS SHALL BE REMOVED FROM THE SITE, THE CONTRACTOR SHALL MAKE EFFORT TO MAINTAIN THE FLOOR CLEAN DURING CONSTRUCTION PROCESS, LEFTOVERS FROM MEALS CONSUMED ON PREMISES SHALL BE DEPOSITED IN SEALED CONTAINERS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR THE SEQUENCES AND PROCEDURES TO BE USED.
- THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL GOVERN THE LOCATIONS OF THE INSTALLATIONS OF THE MECHANICAL AND ELECTRICAL SYSTEM, CONTRACTOR MUST INFORM THE ARCHITECT BEFORE FORMING ANY CONCRETE BEAM IF INTERFERING WITH A/C DUCT OR PLUMBING FIXTURES EXACT LOCATION, ANY DEVIATION FROM THE MECHANICAL/ ELECTRICAL PLANS TO ACCOMMODATE THE ABOVE CONDITIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER AND APPROVED BY THE ARCHITECT / ENGINEER.
- THE CONTRACTOR SHALL PRODUCE, BY MEANS OF SHOP DRAWINGS, ALL ADDITIONAL DETAILS WHICH ARE INFERRABLE FROM THESE PLANS AND WHICH ARE NECESSARY FOR THE EXECUTION AND COMPLETION OF THE CONSTRUCTION.
- THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB.
- UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A "PUNCHLIST," INDICATING THE OBSERVED DEFICIENCIES IN THE WORK, THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITHIN 14 CALENDAR WORKING DAYS.
- ANY OMISSION OF EQUIPMENT INSTALLATIONS AND MATERIALS SHALL BE PROMPTLY RECTIFIED BY CONTRACTOR UPON NOTIFICATION BY ARCHITECT / ENGINEER / OWNER.
- ANY OTHER SERVICES NECESSARY FOR THE COMPLETION OF THIS JOB THAT MAY BE INVOLUNTARY UNDER THE JURISDICTION OF THE FLORIDA BUILDING CODE AND NOT SPECIFIED IN THESE "GENERAL NOTES" AND/OR ARCHITECT'S "SPECIFICATIONS" ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
- CONTRACTOR SHALL SUBMIT TO ARCHITECT / ENGINEER & BUILDING DEPARTMENT ALL REQUIRED SHOP DRAWINGS NECESSARY FOR REVIEW AND APPROVAL AS REQUIRED.
- ALL GLASS SHOWER AND TUB ENCLOSURES SHALL BE RECEIVE CATEGORY II - SAFETY GLAZING.
- ALL FIXED GLASS SHALL BE 1/4" THICK, TEMPERED (U.O.N.).
- ALL CEILINGS SHALL BE SEALED SO THAT AIR FLOW FROM SHAFTS, WALL CHASES, CAVITIES AND BETWEEN CONDITIONED AND UNCONDITIONED ATTIC SPACE IS STOPPED.
- USE ONLY HIGH HAT LIGHTS WITH SEALED CANS OR SEAL THEM FROM THE ATTIC DRYWALL SO THAT COLD AIR DOES NOT GET INTO THE ATTIC.
- ALL DIFFUSERS AND GRILLS SHALL HAVE GASKETS AND THE FIBERGLASS BOOT CONNECTIONS SHALL BE TIGHT IN ORDER TO PREVENT COLD AIR TO LEAK OUT THROUGH THE DRYWALL OPENINGS ALLOWING CONDENSATION TO FORM.
- DRAFT STOPS SHALL BE SEALED AROUND PIPES AND CONDUITS AT THE TOPS OF ALL INTERIOR PARTITION WALLS SO THAT AIR CANNOT PENETRATE DOWN INTO THE WALLS.
- SEAL ALL CEILING SPACES BETWEEN THE CONDITIONED FLOORS FROM OUTSIDE AIR.

- PROVIDE THE ABSOLUTE MINIMUM ATTIC VENTILATION, LOCATE THE NECESSARY SOFT VENTS ON THE EXPOSURE AWAY FROM THE LOCAL PREVAILING BREEZE.
- INSURE THAT ALL INSULATION IS PROPERLY DISTRIBUTED AND INSTALLED WITHOUT GAPS OR IN CONTACT WITH SURFACES THAT TRANSFER AIR.
- DO NOT VENTILATE THE ATTIC BY FORCED VENTILATION.
- ASSURE THAT ALL FIREPLACE DAMPERS ARE TIGHTLY CLOSED.
- INSURE THAT THERE IS NO DUCT LEAKAGE.
- KEEP ALL DUCTWORK SEPARATE FROM ALL OTHER DUCTWORK, ATTIC INSULATION, AND BUILDING CONSTRUCTION MATERIALS.
- MAINTAIN CONDITIONS IN ATTIC SUCH THAT THE DEW POINT OF THE ATTIC AIR IS HIGHER THAN THE SKIN TEMPERATURE OF THE DUCTWORK AT ALL TIMES.
- EXTERIOR AND ADJACENT WALLS SHALL BE SEALED AT THE FOLLOWING LOCATIONS AS PER FLORIDA BUILDING CODE, LATEST EDITION.
 - BETWEEN WINDOWS AND DOORS AND THEIR FRAMES.
 - BETWEEN WINDOWS AND DOOR FRAMES AND THE SURROUNDING WALL.
 - BETWEEN THE FOUNDATION AND WALL ASSEMBLY SILL PLATES.
 - JOINTS BETWEEN EXTERIOR WALL PANELS AT CHANGES IN PLANE, SUCH AS WITH EXTERIOR SHEATHING AT CORNERS AND CHANGES IN ORIENTATION.
 - OPENINGS AND CRACKS AROUND ALL PENETRATIONS THROUGH THE WALL ENVELOPE SUCH AS UTILITY SERVICES AND PLUMBING.
 - BETWEEN THE WALL PANELS AND TOP AND BOTTOM PLATES IN EXTERIOR AND ADJACENT WALLS, IN FRAME CONSTRUCTION, THE CRACK BETWEEN EXTERIOR AND ADJACENT WALL BOTTOM PLATES AND FLOORS SHALL BE SEALED WITH CAULKING OR GASKET MATERIAL, GYPSUM BOARD OR OTHER WALL PANELING ON THE INTERIOR SURFACE OF EXTERIOR AND ADJACENT WALL SHALL BE SEALED TO THE FLOOR, AND (WHEN APPLICABLE)
 - BETWEEN WALLS AND FLOOR WHERE THE FLOOR PENETRATES THE WALL.
- ARCHITECT'S SPECIFICATIONS SHALL BECOME PART OF THE CONSTRUCTION DOCUMENTS.
- COORDINATE WITH THE ARCHITECT ALL A/C DUCTWORK LOCATION AND SIZES PRIOR TO FORMING CONCRETE BEAMS, CONSULT ARCHITECT, STRUCTURAL AND MECHANICAL ENGINEER IN THE EVENT OF ANY DISCREPANCIES, SUBMIT TRUSS SHOP DRAWINGS TO THE ARCHITECT, STRUCTURAL & H.V.A.C. ENGINEER FOR REVIEW APPROVAL PRIOR TO TRUSS PERMIT AND FABRICATION, DUE TO TIGHT CONDITIONS AT SOME PORTIONS OF THE ROOF, LINEAR DIFFUSERS MAY BE REPLACED FOR CONVENTIONAL DIFFUSERS AS APPROVED BY THE ARCHITECT & ENGINEER, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT & ENGINEER ON SITE BEFORE ORDERING A/C DIFFUSERS.
- THE DRAWINGS ARE GENERALLY DIAGRAMATIC, THE MECHANICAL WORK SHALL BE COORDINATED WITH ALL FIELD CONDITIONS AND OTHER TRADES IN ORDER TO AVOID INTERFERENCE WITH PLUMBING, AIR CONDITIONING AND STRUCTURAL ELEMENTS.

FIRE RATINGS DESCRIPTION

FIRE-RATED PARTITION ASSEMBLY U.L. #U465

No. 25 CHANNEL SHAPED STUDS AT 16" O.C. WITH ONE FULL LENGTH LAYER OF 5/8" TYPICAL "X" GYPSUM BOARD APPLIED VERTICAL ATTACHED WITH 1" LONG No.6 DRYWALL SCREWS TO EACH SIDE. SCREWS ARE 8" O.C. AROUND PERIMETER AND 12" O.C. ON INTERMEDIATE STUDS.

FIRE-RATED CEILING ASSEMBLY U.L. #L528

METAL CHANNELS AT 16" O.C. ONE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD, CEMENT-COATED OR RING SHANKED NAILS 6" O.C. W/BUTT & SIDE JOINTS STAGGERED, PAPER TAPE EMBEDDED OVER JOINTS AND EXPOSED NAIL HEADS COVERED WITH COMPOUND.

INTERIOR BEARING PARTITION ASSEMBLY U.L. #U465

1 HOUR FIRE RATED 2"x4" OR 2"x6" STUDS AT 16" O.C. WITH ONE LAYER 5/8" TYPE "X" GYPSUM BOARD EACH SIDE APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 16d COOLER NAILS 7" O.C. WITH END JOINTS ON NAILING MEMBERS. PROVIDE 2"x4" OR 2"x6" DOUBLE TOP PLATE AND BASE PLATE SECURED TO FOUNDATION, PROVIDE TWO ROWS BLOCKING AT 40" O.C.

TYPICAL NON-BEARING PARTITION

No. 25 Gd. CHANNEL SHAPED STUDS AT 24" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE. (16" O.C. AT WET AREAS.)

- SITE NOTES**
- ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.
 - ALL APPROACHES TO BE COORDINATED WITH RIGHT-OF-WAY CONDITIONS SUCH AS, BUT NOT LIMITED TO, STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.
 - LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS AS REQUIRED BY THE CITY OF CORAL GABLES.
 - NOTE: CROSS HATCHED AREAS DENOTES TRUSS RECESS FOR COVES. SEE FLOOR PLANS & CROSS SECTIONS FOR DIMENSIONS.
 - ALL AREAS MARKED "SOD" TO BE SODDED PER LANDSCAPING PLANS.
 - TERMITE PROTECTION, ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES, THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
 - CONTRACTOR SHALL VERIFY IF THERE IS AN EXISTING SEPTIC TANK & DRAIN FIELD WITHIN THE PROPERTY. IF A SEPTIC TANK & DRAIN FIELD IS PRESENT, IT SHALL BE ABANDONED AS RECOMMENDED PER FBC R 2020 AND AS PER MIAMI-DADE COUNTY H.R.S. REQUIREMENTS PRIOR TO STARTING NEW CONSTRUCTION.
 - APPROVED NUMBER OR ADDRESS SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY AS PER FBC R 2020.
 - FLOOD ZONE "X" REFERENCE TO N.G.V.D. 1929.

LEGAL DESCRIPTION:

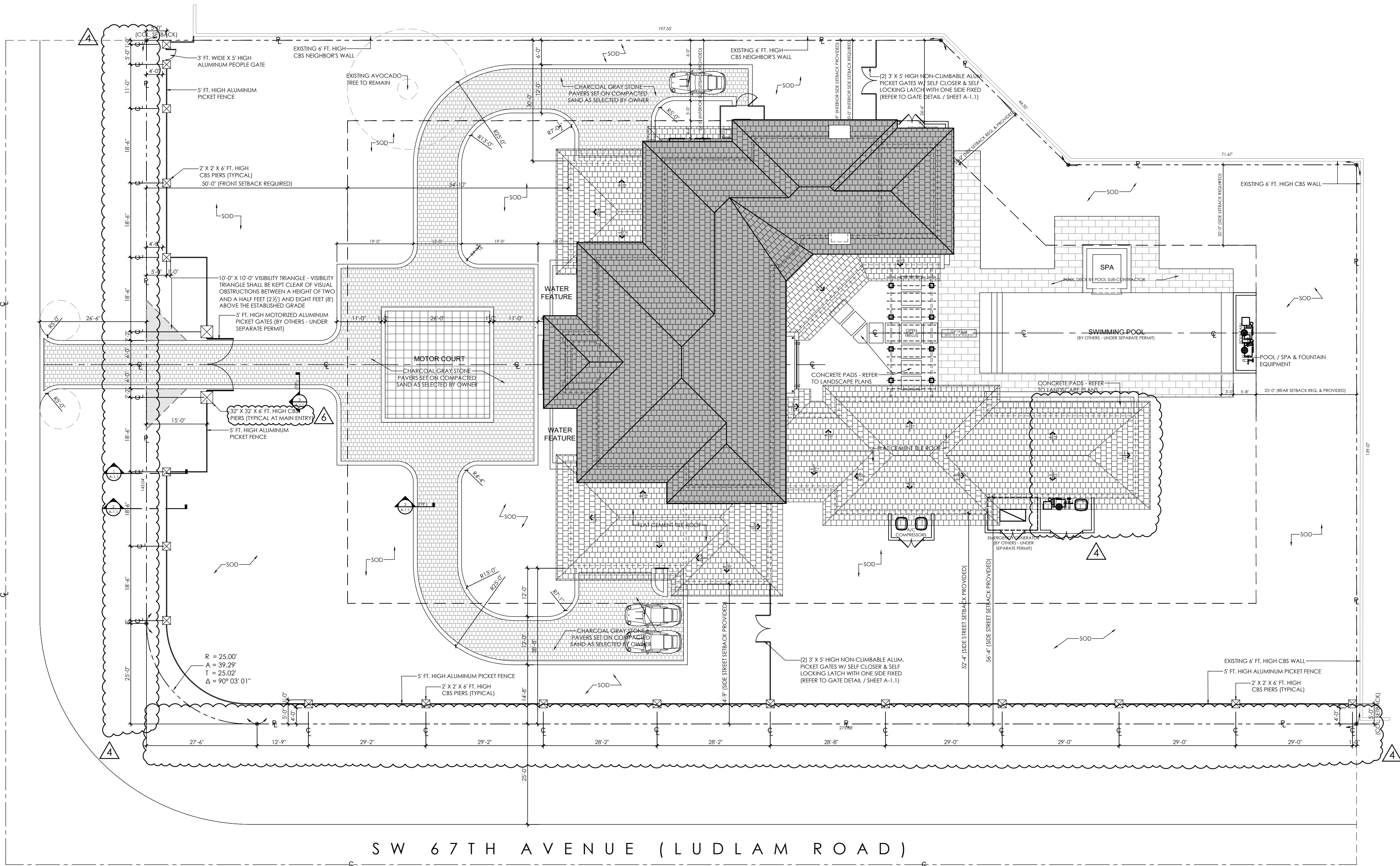
LOT 2, BLOCK 1, "WYLLIE ESTATES" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 93, PAGE 92, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:
9601 SW 67th AVENUE - PINECREST, FLORIDA 33156

FOLIO NO. 20-5001-029-0020

FLOOD ZONE "X"

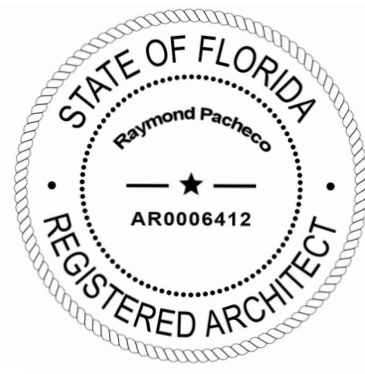
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NOTE:
BUILDER SHALL COORDINATE RIGHT OF WAY CONDITIONS WITH APPROACHES, STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.

EXISTING TREES INFORMATION
A tree removal and relocation permit for this address, 9601 SW 67 Avenue, Permit # P72021-0709 has been submitted for this project.

SITE PLAN
SCALE: 1/16" = 1'-0"



NEW RESIDENCE FOR:

revisions

date

12-05-2024

issued

drawn

checked

project no.

2456

sheet no.

12-05-2024

07-29-2022 BDC

09-05-2022 BDC

10-17-2022 BDC

01-03-2023 REV.

03-24-2023 BDC

04-25-2023 BDC

07-10-2023 BDC

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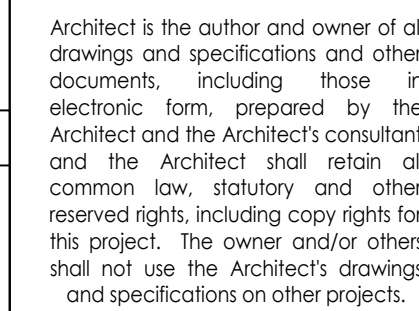
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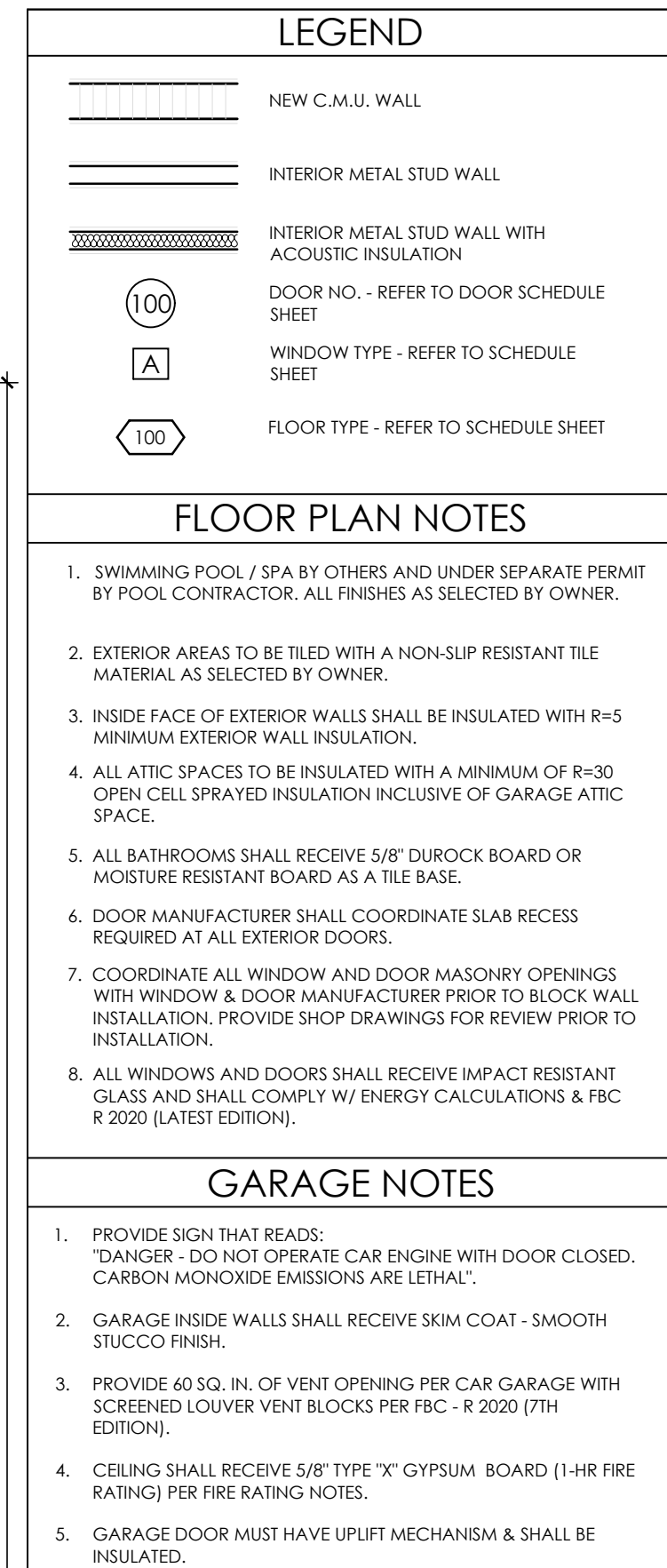
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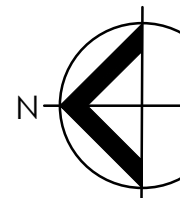
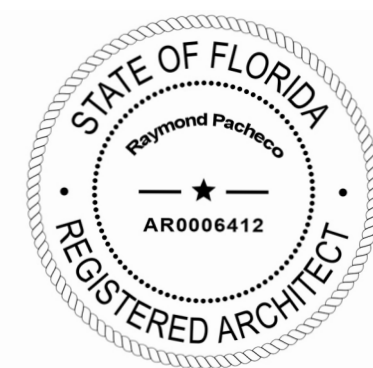
9601 SW 67th AVENUE - PINECREST FLORIDA 33156

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		1	01-24-2024 REV.
		2	04-22-2024 AS BUILT

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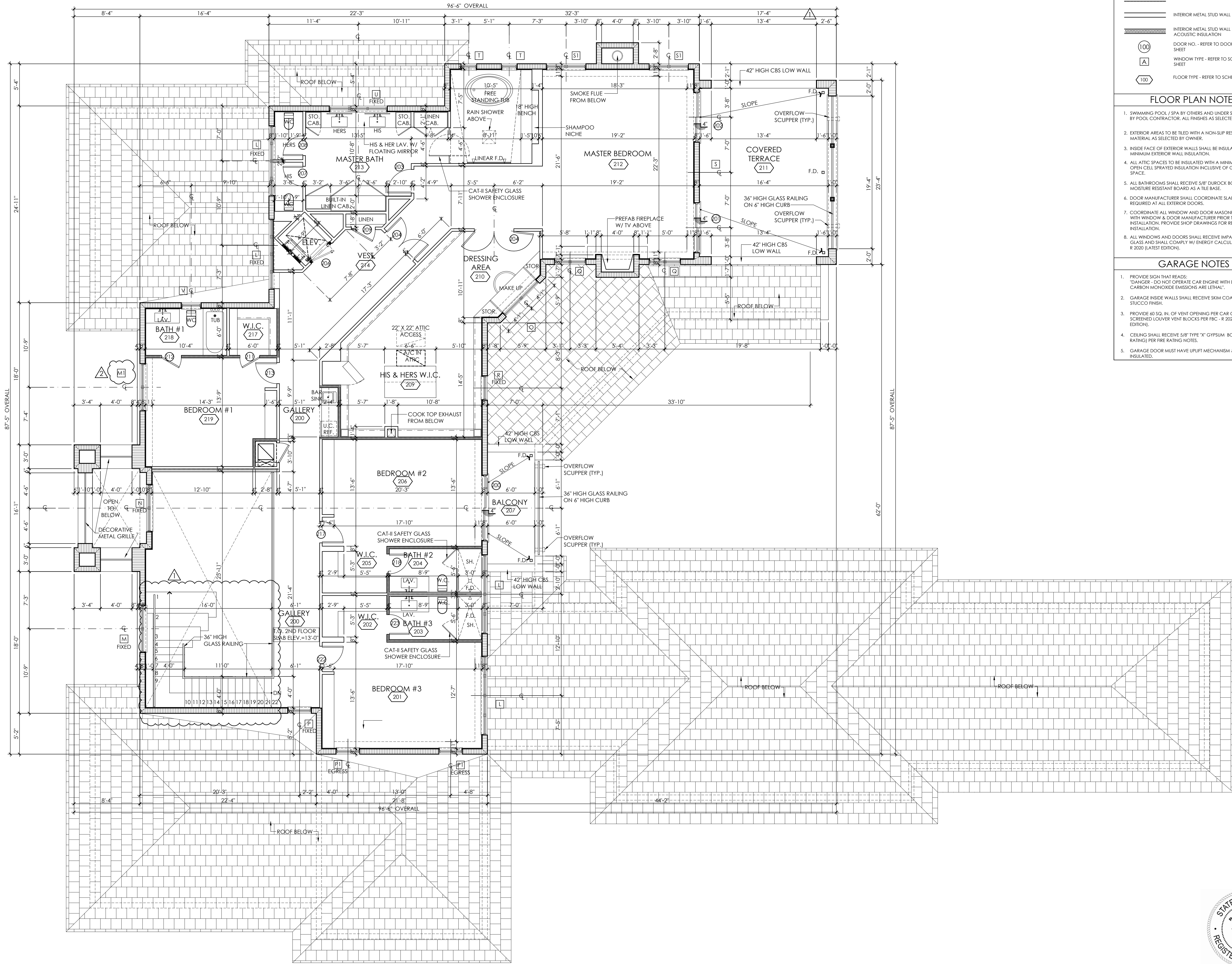


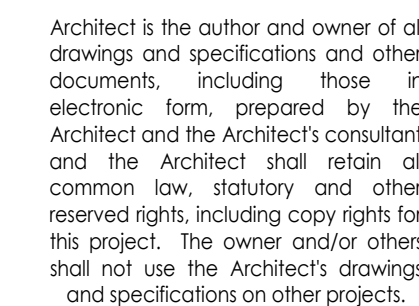
SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

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LEGEND	
	NEW C.M.U. WALL
	INTERIOR METAL STUD WALL
	INTERIOR METAL STUD WALL WITH ACOUSTIC INSULATION
	DOOR NO. - REFER TO DOOR SCHEDULE SHEET
	WINDOW TYPE - REFER TO SCHEDULE SHEET
	FLOOR TYPE - REFER TO SCHEDULE SHEET
FLOOR PLAN NOTES	
1. SWIMMING POOL / SPA BY OTHERS AND UNDER SEPARATE PERMIT BY POOL CONTRACTOR. ALL FINISHES AS SELECTED BY OWNER.	
2. EXTERIOR AREAS TO BE TILED WITH A NON-SLIP RESISTANT TILE MATERIAL, AS SELECTED BY OWNER.	
3. RIDGE FACE OF EXTERIOR WALLS SHALL BE INSULATED WITH R-5 MINIMUM EXTERIOR WALL INSULATION.	
4. ALL ATTIC SPACES TO BE INSULATED WITH A MINIMUM OF R-30 OPEN CELL SPRAYED INSULATION INCLUSIVE OF GARAGE ATTIC SPACE.	
5. ALL BATHROOMS SHALL RECEIVE 5/8" DUROCK BOARD OR MOISTURE RESISTANT BOARD AS A TILE BASE.	
6. DOOR MANUFACTURER SHALL COORDINATE SLAB RECESS REQUIRED AT ALL EXTERIOR DOORS.	
7. COORDINATE ALL WINDOW AND DOOR MASONRY OPENINGS WITH WINDOW & DOOR MANUFACTURER PRIOR TO BLOCK WALL INSTALLATION. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION.	
8. ALL WINDOWS AND DOORS SHALL RECEIVE IMPACT RESISTANT GLASS WITH SHALL COMPLY W/ ENERGY CALCULATIONS & FRC R 2020 (LATEST EDITION).	
GARAGE NOTES	
1. PROVIDE SIGN THAT READS: "DANGER - DO NOT OPERATE CAR ENGINE WITH DOOR CLOSED. CARBON MONOXIDE EMISSIONS ARE LETHAL."	
2. GARAGE INSIDE WALLS SHALL RECEIVE KIM COAT - SMOOTH STUCCO FINISH.	
3. PROVIDE 60 SQ. IN. OF VENT OPENING PER CAR GARAGE WITH SCREENED COVER VENT TYPES "C" - R-2000 (7TH EDITION).	
4. CEILING SHALL RECEIVE 5/8" TYPE "C" CYPSUM BOARD (1-HR FIRE RATING) PER FIRE RATING NOTES.	
5. GARAGE DOOR MUST HAVE LIFT MECHANISM & SHALL BE INSULATED.	





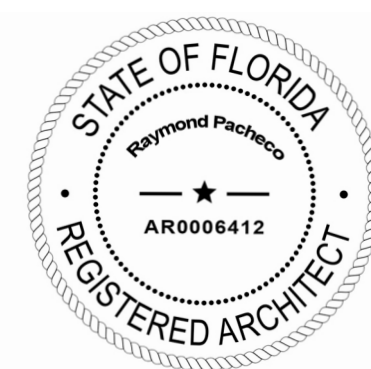
9601 S.W. 67th AVENUE - PINECREST, FLORIDA 33156

NEW RESIDENCE FOR:

Date 12-05-2024 revisions 1 01-03-2023 REV.
 issued _____
 drawn CAD 2 04-22-2024 AS BUILT
 checked RP _____
 project no. 2436 _____

sheet no.

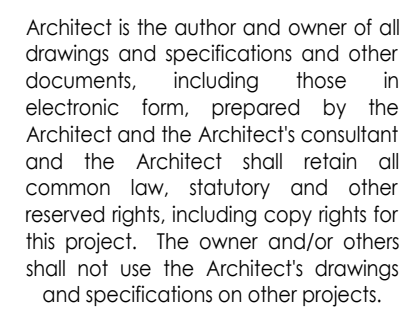
A-4.0



FRONT (NORTH) ELEVATION
SCALE: 3/16" = 1'-0"



REAR (SOUTH) ELEVATION

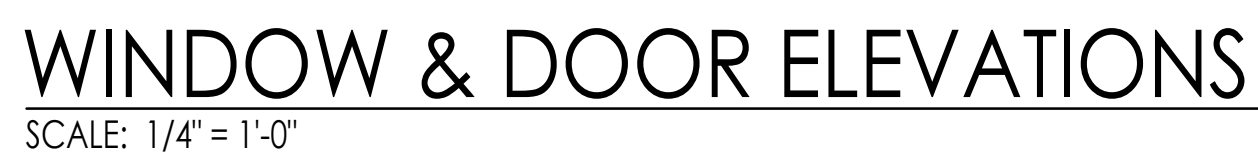


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revisions

project no. 2436

A-11.0



WINDOW & DOOR GENERAL NOTES

1. ALL DOORS AND WINDOWS SHALL RECEIVE IMPACT-RESISTANT GLASS AND MUST HAVE NOA'S PROTECT APPROVAL FROM MIAMI-DADE COUNTY.
2. G.C. MUST COORDINATE ALL EXISTING AND NEW MASONRY OPENINGS WITH WINDOW & DOOR MANUFACTURER PRIOR TO FABRICATION AND INSTALLATION.
3. ALL DOORS AND WINDOWS TO BE ON SEPARATE PERMIT AND SHALL BE OBTAINED PRIOR TO INSTALLATION - BY WINDOW / DOOR COMPANY AS SELECTED BY OWNER.
4. ALL GLAZING FOR ALL DOORS AND WINDOWS SHALL BE DESIGNED ACCORDING TO ENERGY CALCULATIONS FOR U-VALUE AND SHGC AS PER FBC-EC R 103.2, FBC-EC R 303.1
5. WINDOW / DOOR MANUFACTURER SELECTED BY OWNER MUST PROVIDE PRESSURES AND SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION AND INSTALLATION. ADDITIONALLY, MUST OBTAIN A SEPARATE PERMIT.
6. NO DOOR IN THE PATH OF TRAVEL OF MEANS OF ESCAPE SHALL BE LESS THEN 28" WIDE, EXCEPT FOR BATHROOM DOORS. WHICH MAY BE 24" WIDE UNLESS A LARGER DOOR OPENING IS REQUIRED TO SATISFY OTHER REQUIREMENTS OF THE FLORIDA BUILDING CODE.
7. EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET.
8. EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
9. DOORS MAY BE SWINGING OR SLIDING AND ARE EXEMPT FROM THE REQUIREMENTS OF THE FLORIDA BUILDING CODE.
10. NO DOOR IN ANY MEANS OF ESCAPE SHALL BE LOCKED AGAINST EGRESS WHEN THE BUILDING IS OCCUPIED. ALL LOCKING DEVICES WHICH IMPAIR OR PROHIBIT EGRESS OR WHICH CANNOT BE EASILY DESENGAGED SHALL BE PROHIBITED.

