

GENERAL NOTES

- A. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT OF RECORD.
- B. THESE DRAWINGS PROVIDE FOR THE LABOR, MATERIAL, EQUIPMENT AND SUPERVISION BY THE CONTRACTOR FOR A COMPLETE LOCK AND KEY JOB WITH THE ITEMS SPECIFICALLY NOTED FURNISHED BY THE CONTRACTOR OR AS AN ALLOWANCE. THE WORK SHALL BE EXECUTED IN A THOROUGH, SUBSTANTIAL AND NEAT MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.
- C. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT OF RECORD IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- D. ALL WORK SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA RESIDENTIAL BUILDING CODE 8TH ED (2023) AND ALL AUTHORITIES HAVING JURISDICTION.
- E. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.
- F. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE FAMILIAR WITH THE NATURE AND LOCATION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING THOSE BEARING ON TRANSPORTATION, HANDLING AND STORAGE OF DEBRIS, ACCESS TO THE SITE, AND THE EQUIPMENT AND FACILITIES NEEDED TO PERFORM THE WORK.
- G. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.
- H. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE ACCESS TO THE PREMISES AT ALL TIMES.
- I. ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED AND/OR AS SELECTED BY THE ARCHITECT, INTERIOR DESIGNER OR OWNER.
- J. THE CONTRACTOR SHALL ALLOW THE A/E TEAM A RESPONSE TIME OF 7 WORKING DAYS FOR RFIS AND 10 WORKING DAYS FOR SHOP-DRAWING REVIEWS.
- Q. AT COMPLETION, THE CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, EQUIPMENT, AND SURPLUS MATERIALS, LEAVING THE PROJECT "BROOM CLEAN".
- K. THE CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.
- L. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
- M. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

SYMBOLS KEY

BUILDING SECTION		ELEVATION	
WALL SECTION		INTERIOR ELEVATION	
DETAIL		DOOR ID	
DETAIL @ SECTION		PARTITION TYPE	
		REVISION	
		EQUIPMENT ID	
		GLAZING ID	

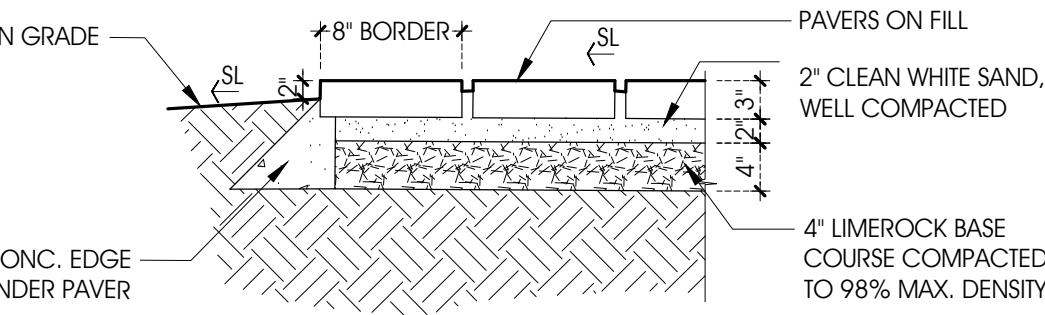
NOTES

1. ALL RAINWATER MUST BE RETAINED ON PROPERTY.
2. LANDSCAPING WILL COMPLY WITH LANDSCAPE REQUIREMENT. LANDSCAPING NOT ALLOWED TO GROW WITHIN TRIANGLE OF VISIBILITY BETWEEN A HEIGHT OF 30' AND 8'.
3. SOIL TERMITE CONTROL: THE ENTIRE SOIL AREA TO BE COVERED BY FOOTINGS, SLABS, PORCHES, ETC., SHALL BE TREATED WITH FUMISEAL OR EQUAL FOR TERMITES IN ACCORDANCE WITH SPECIFICATIONS. PROVIDE OWNER WITH A PRINTED GUARANTEE AGAINST SUBTERRANEAN TERMITES FOR 5 YEARS, AND OTHER TERMITES FOR 2 YEARS, FROM DATE OF COMPLETION.
4. THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2 1/2) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE

NOTE: SEE LANDSCAPE DRAWINGS FOR TREE DISPOSITION PLAN, GRADING PLAN, ARBORIST REPORT AND PROPOSED NEW WORK

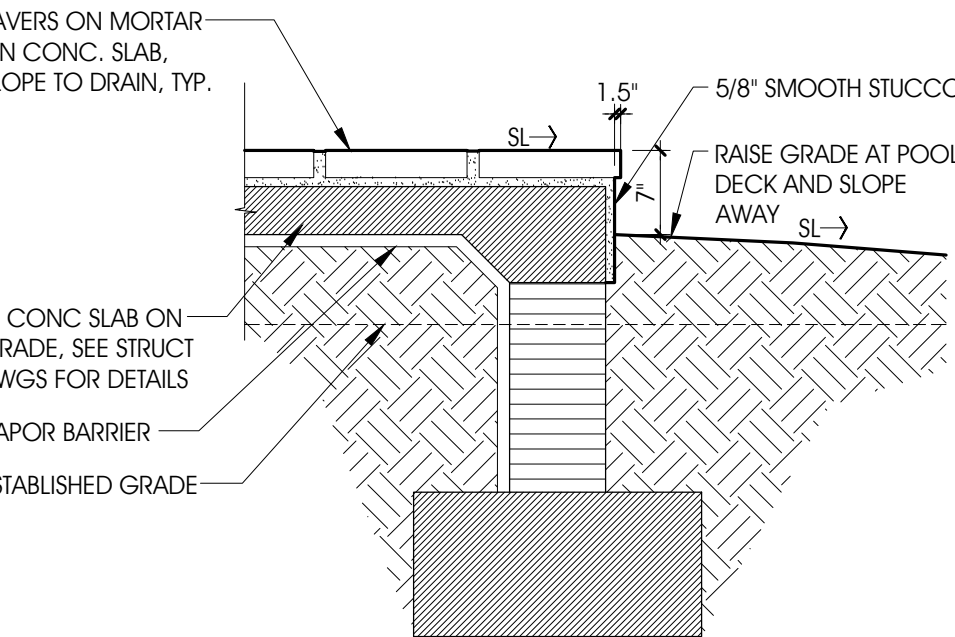
CODE:

FBC RESIDENTIAL 2023 8TH EDITION



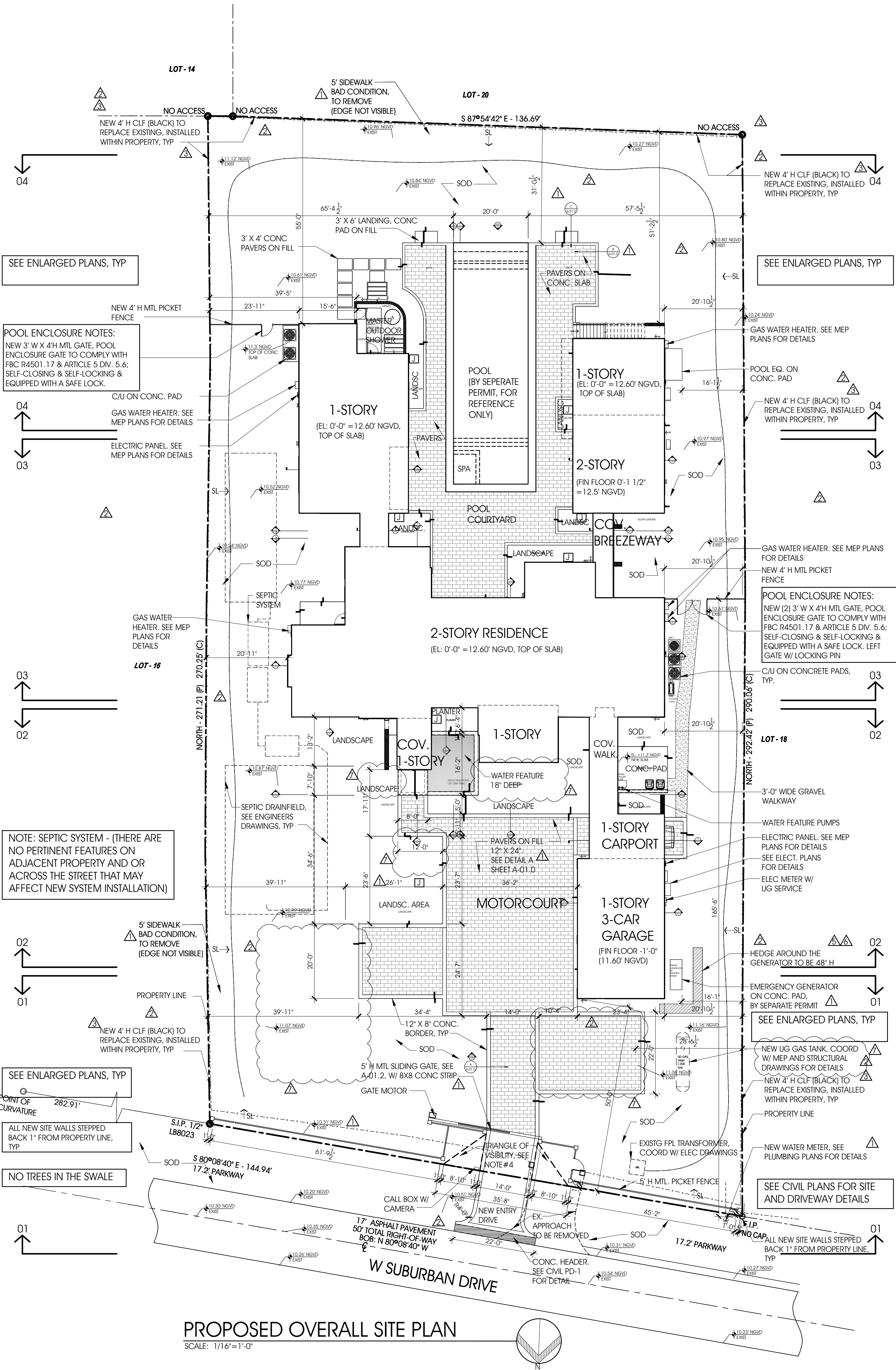
DRIVEWAY PAVER DETAIL: A

SCALE: 3/4"=1'-0"



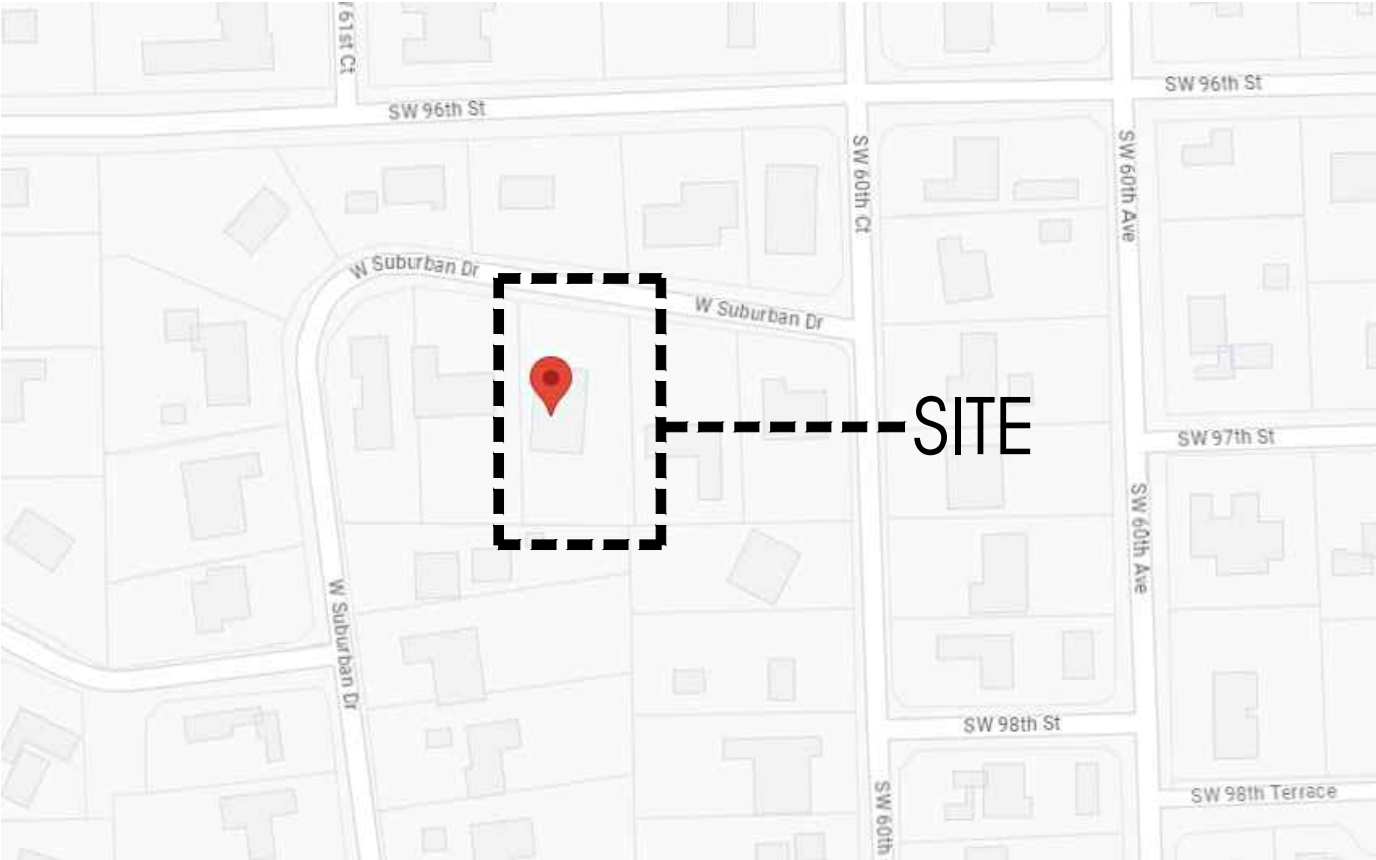
POOL DECK DETAIL: B

SCALE: 3/4"=1'-0"



PROPOSED OVERALL SITE PLAN

SCALE: 1/16"=1'-0"



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CONSULTANT(S)

NO.	REVISION/SUBMISSION	DATE
	OWNER REVIEW	04-08-24
	PERMIT SUBMITTAL	06-07-24
△	REVIEW COMMENT	11-04-24
△	REVIEW COMMENT	12-05-24
△	OWNER REVISION	03-31-26

PROJECT

New 2-Story Residence:
6100 W Suburban Dr, Pinecrest, FL 33156

DRAWING

Area Diagrams
and Calculations



Nelson de Leon
AR 13937

SHEET NO.

A-01.1

SCALE

DRAWN

REVIEWED
NDL

PROJ. NO.
351

LOT SIZE: 40,016 SF

AREA CALCULATIONS: TOTALS

FAR CALCULATIONS	ALLOWED	PROPOSED
1ST FLOOR A/C		5,186.4 SF
GARAGE		875 SF
GYM		503.7 SF
ROOF DECK FROM 2ND FLOOR		639.0 SF
SUB-TOTAL	8,003.2 SF (20%)	7,204.1 SF (18%)
2ND FLOOR A/C	4,001.6 SF (10%)	3,998 SF (9.9%)
TOTALS		11,202.1 SF

639 SF OF FAR TRANSFERRED FROM 1ST FLOOR FAR TO ROOF DECK
2ND FLOOR FAR THROUGH A DECLARATION OF RESTRICTIONS.

LOT COVERAGE CALCS:	ALLOWED	PROPOSED
1ST FLOOR COVERED	8,003.2 SF (20%)	7,954 SF
TOTALS		7,954 SF (19.8%)

LANDSCAPE AREAS (PERVIOUS)	REQUIRED (MIN.)	PROPOSED
LANDSCAPE:	22,008.8 SF (55%)	23,478.2 SF
TOTALS		23,478.2 SF (58.6%)

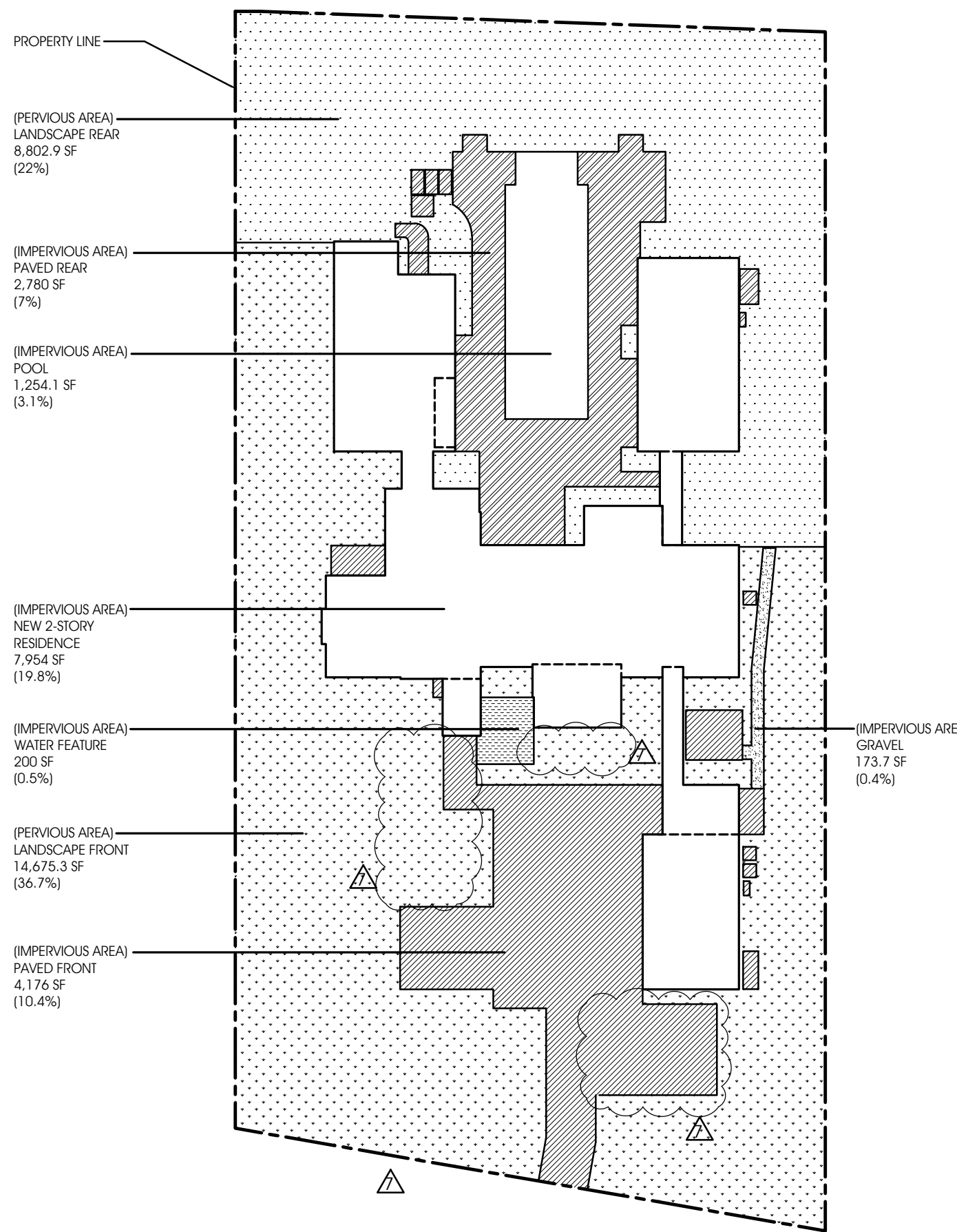
IMPERVIOUS SURFACE	ALLOWED	PROPOSED
IMPERVIOUS:	18,007.29 SF (45%)	16,537.8 SF
TOTALS		16,537.8 SF (41.3%)

AREA CALCULATIONS: RESIDENTIAL PROPERTY

PERVIOUS AREA	PROPOSED
FRONT LANDSCAPE	14,675.3 SF
REAR LANDSCAPE	8,802.9 SF
TOTAL	23,478.2 SF
IMPERVIOUS AREA	PROPOSED
GRAVEL	173.7 SF
FRONT PAVING	4,176 SF
RESIDENCE	7,954.0 SF
WATER FEATURE	200 SF
POOL	1,254.1 SF
REAR PAVING	2,780 SF
TOTAL	16,537.8 SF

PERVIOUS AREA = 23,478.2 SF
IMPERVIOUS AREA = 16,537.8 SF
LOT TOTAL = 40,016 SF

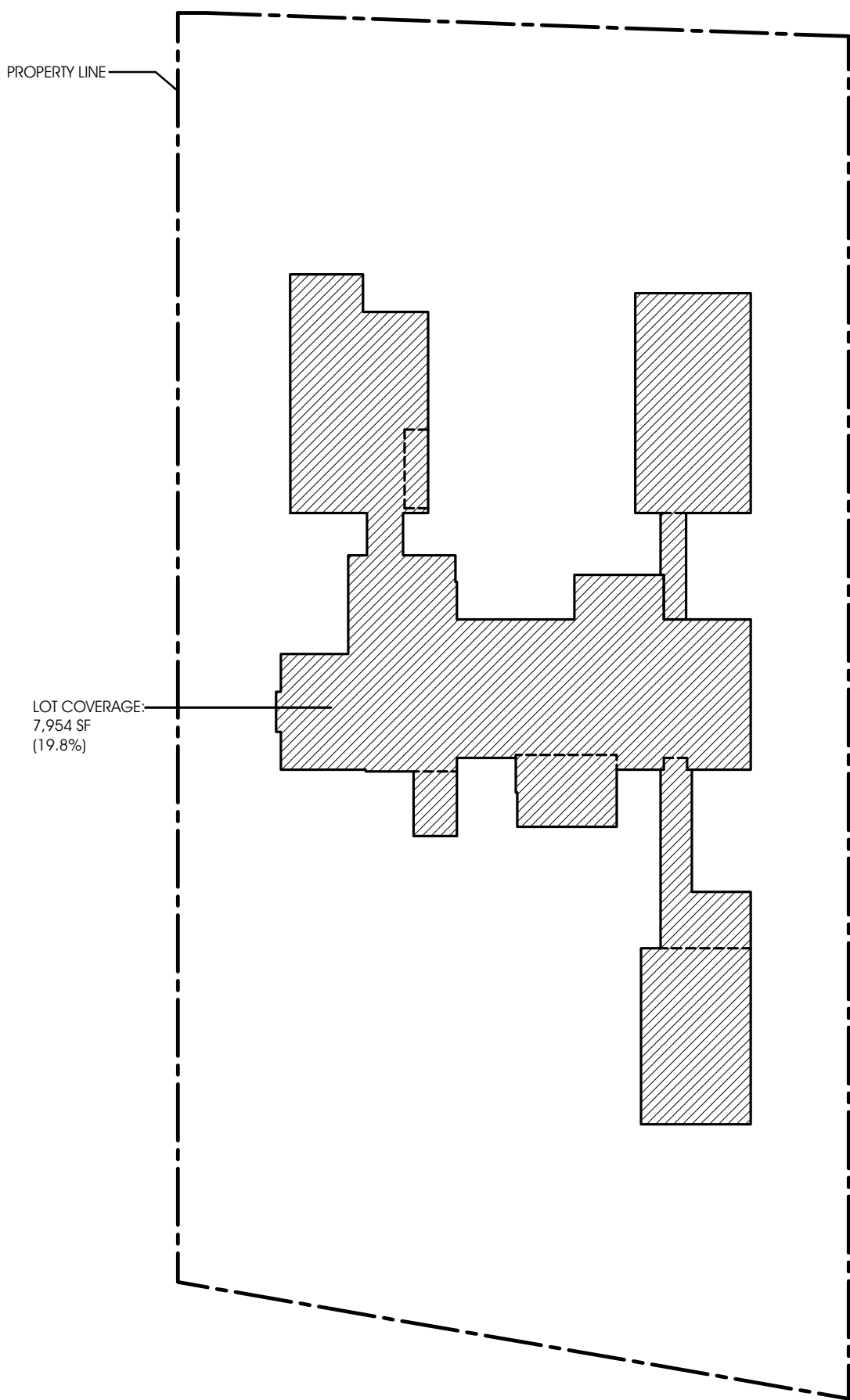
LOT SIZE: 40,016 SF



PERVIOUS AND IMPERVIOUS AREAS

SCALE: 1/32" = 1'-0"

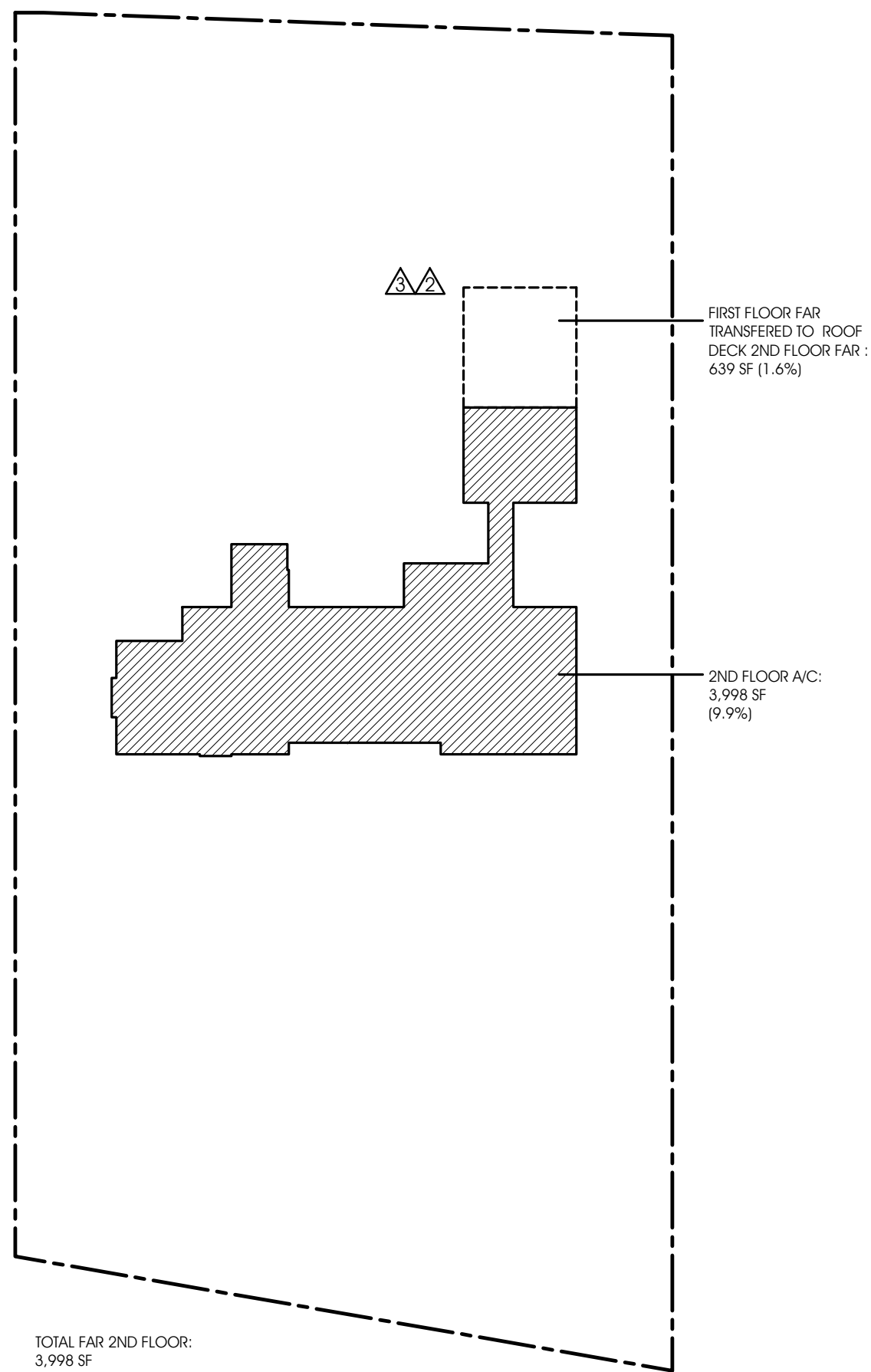
LOT SIZE: 40,016 SF



LOT COVERAGE

SCALE: 1/32" = 1'-0"

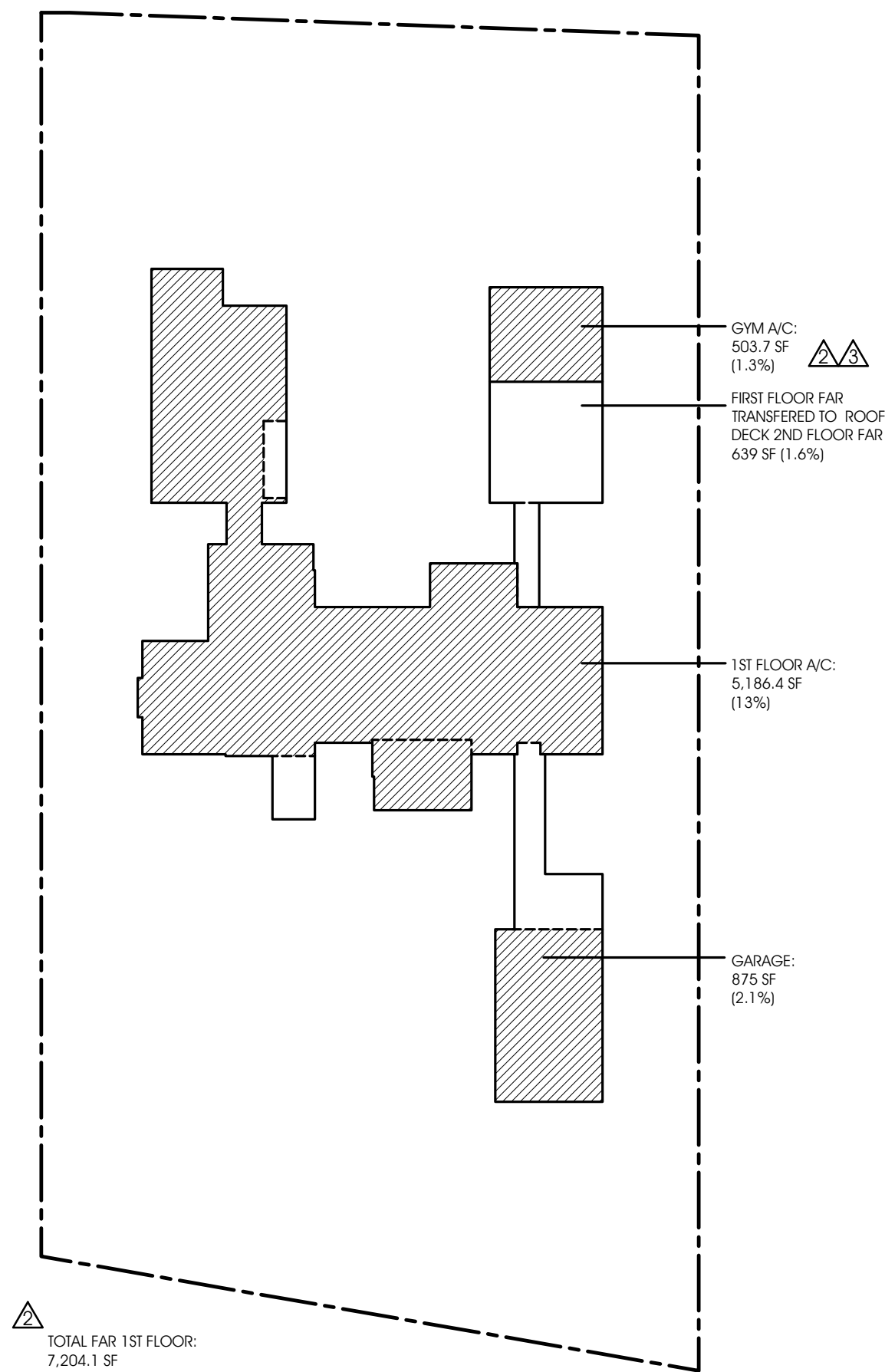
LOT SIZE: 40,016 SF



FAR 2ND FLOOR

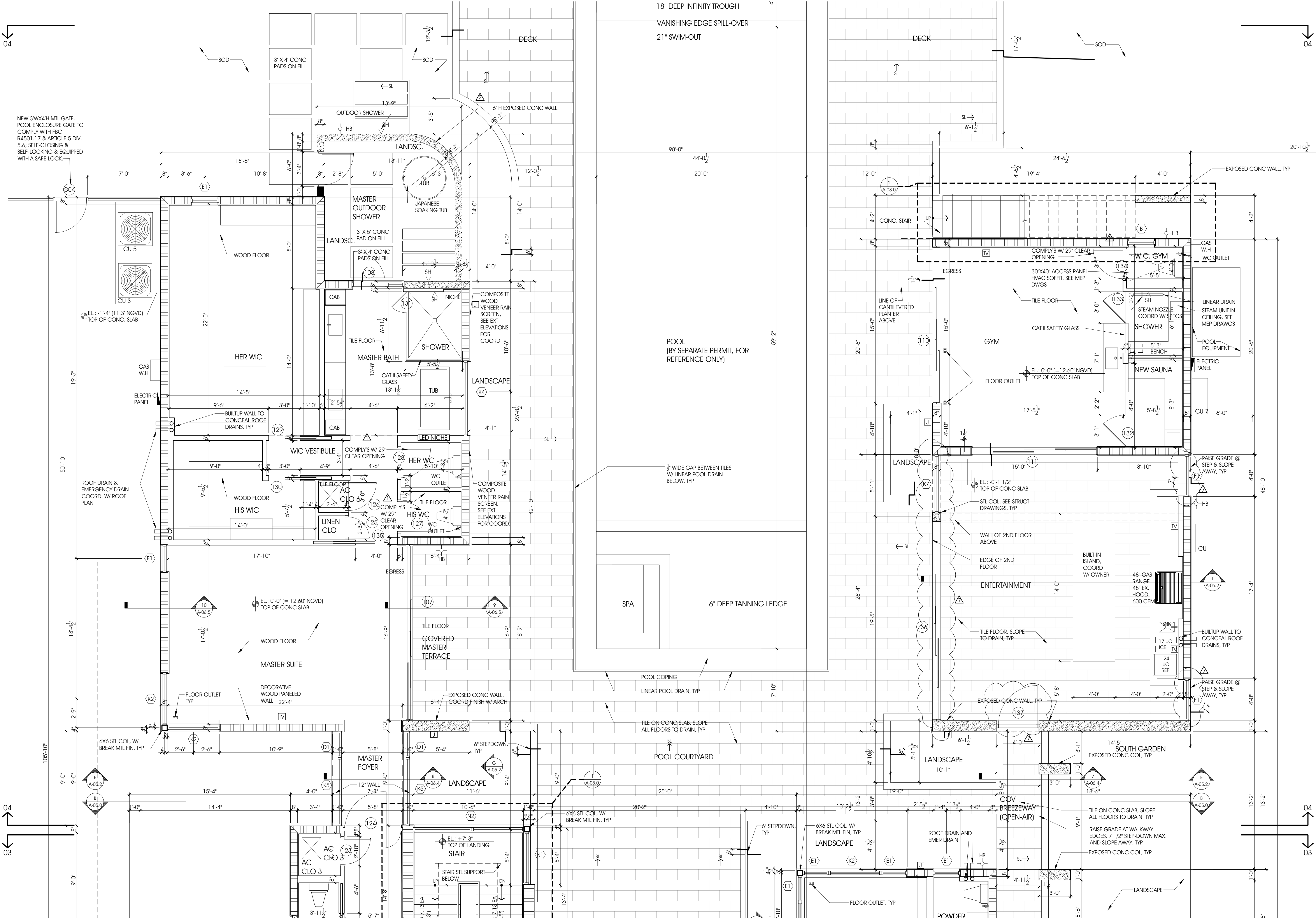
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LOT SIZE: 40,016 SF

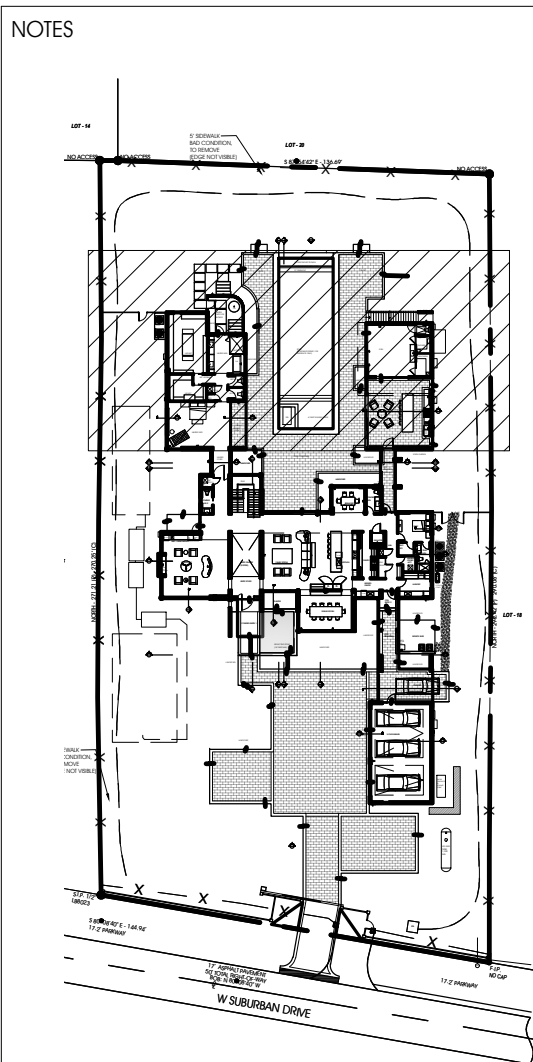


FAR 1ST FLOOR

SCALE: 1/32" = 1'-0"



PARTIAL FIRST FLOOR PLAN: 04
SCALE: 1/4" = 1'-0"



KEY PLAN
SCALE: 1/4" = 1'-0"

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	OWNER REVISION	03-31-26

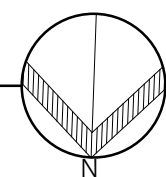
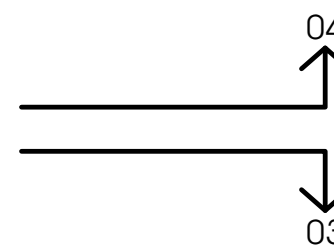
PROJECT

New 2-Story Residence:
6100 W Suburban Dr, Pinecrest, FL 33156

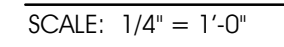
DRAWING
Partial First Floor Plan: 04

SEAL 	SCALE DRAWN REVIEWED NDL PROJ. NO. 351
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SHEET NO.
A-02.3

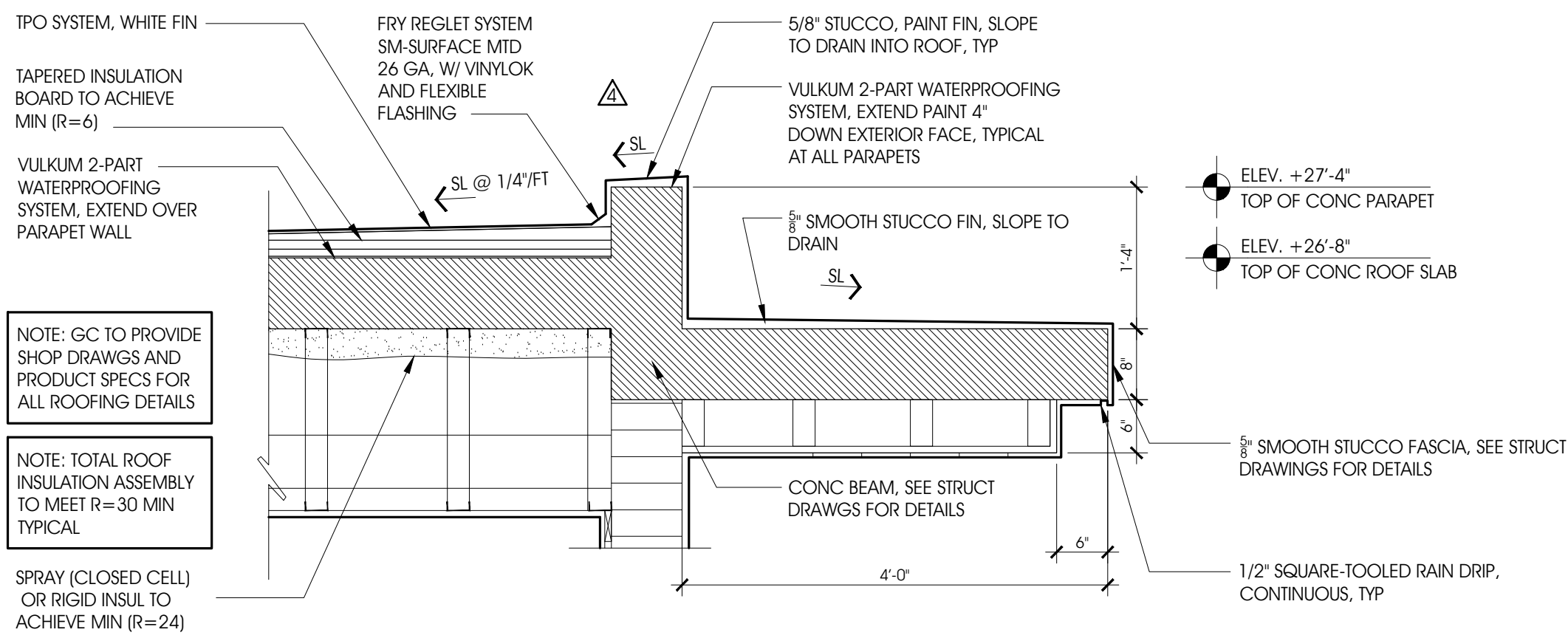


SCALE: 1/4" = 1'-0"

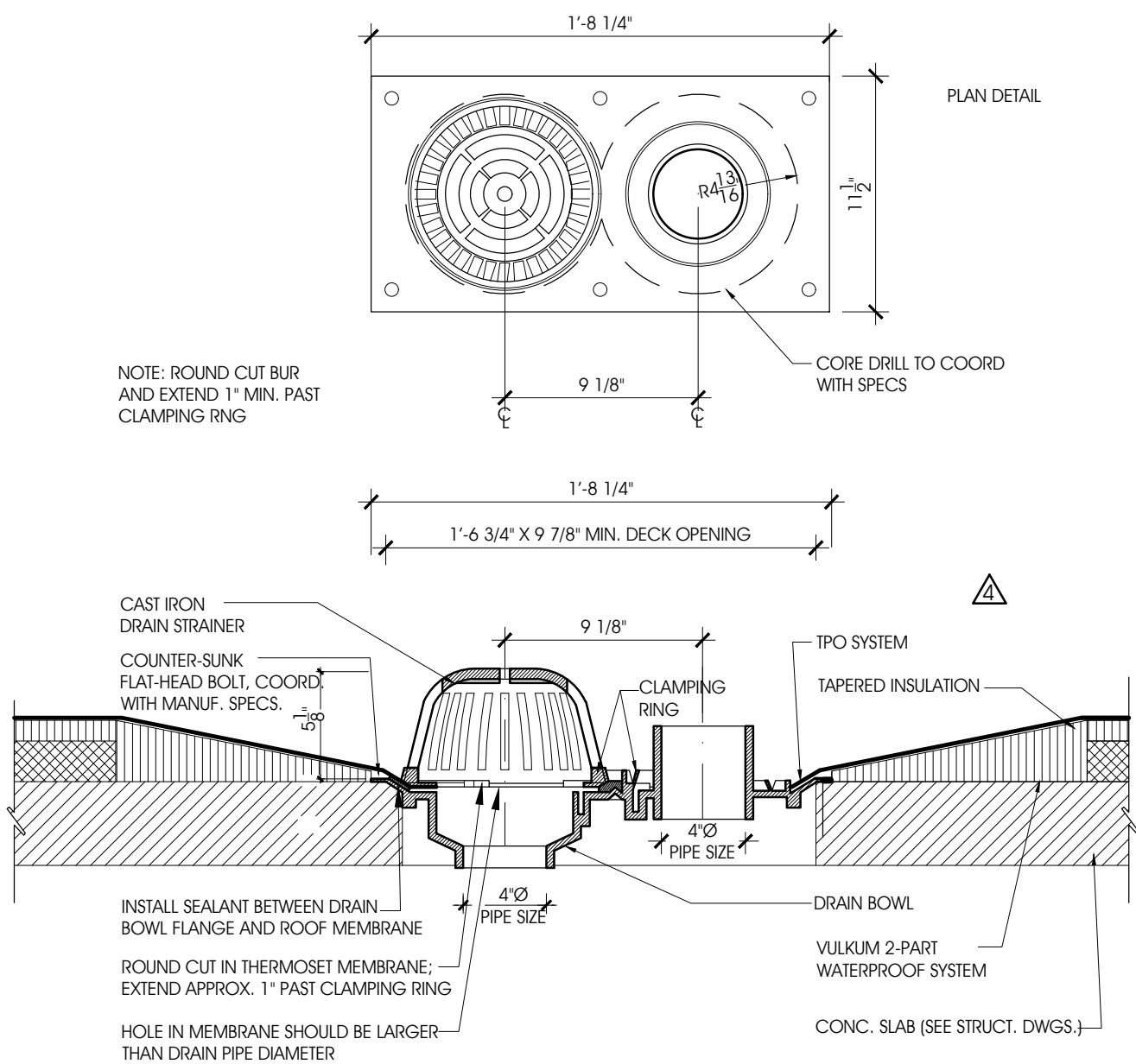


A-03.3

SCALE
DRAWN
REVIEWED
NDL
PROJ. NO.
351



PARAPET DETAIL : B
SCALE: 3/4"=1'-0"

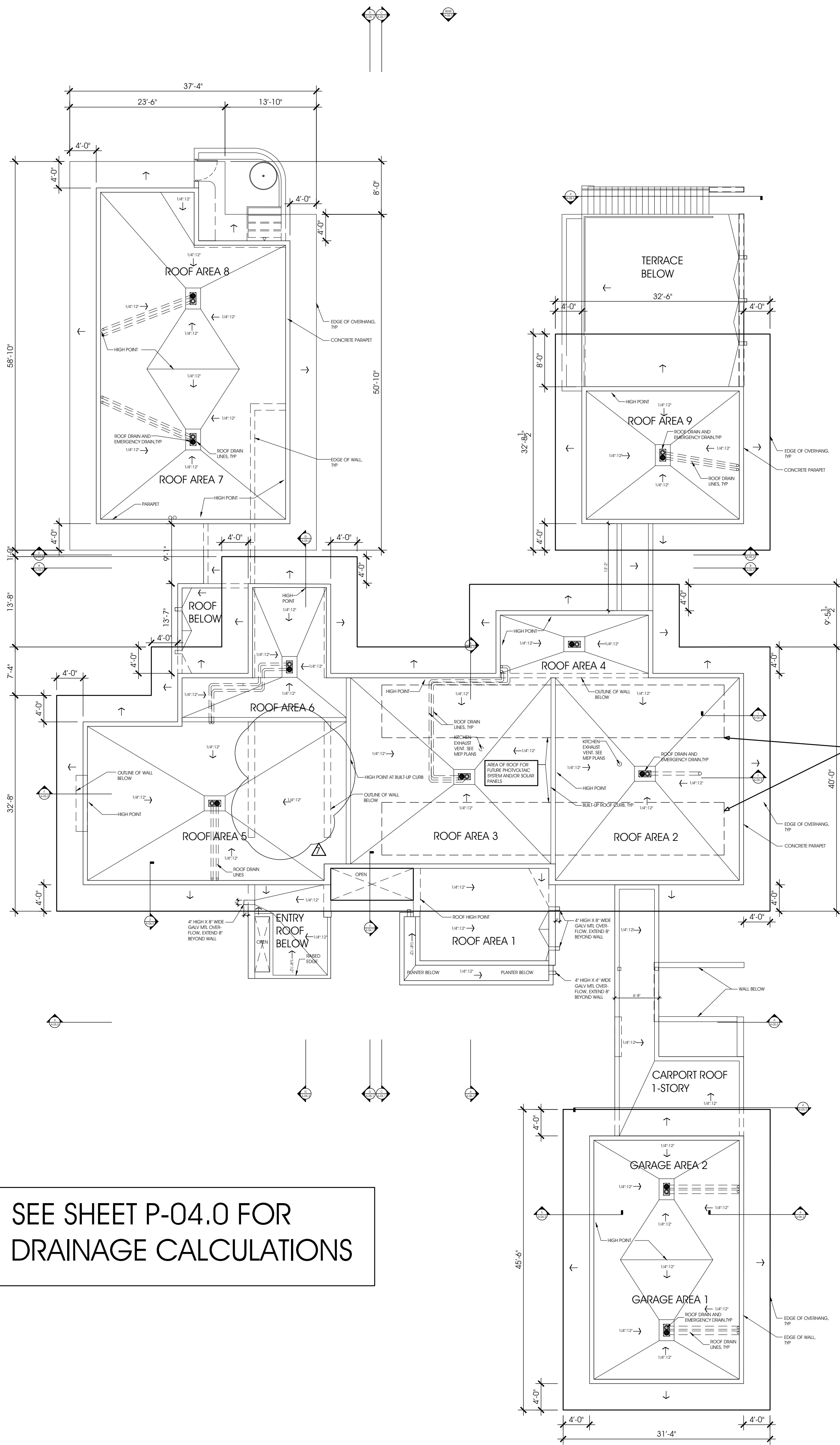


COMBINATION ROOF DRAIN DETAIL : A
SCALE: 1 1/2"=1'-0"

SOLAR READY CONSTRUCTION NOTES

PHOTOVOLTAIC SYSTEMS. INSTALLATION OF AN APPROPRIATELY SIZED CONDUIT, A MINIMUM OF ONE-INCH DIAMETER, LEADING FROM AN EXTERIOR SOUTH-FACING, EAST-FACING, OR WEST-FACING ROOF, WHERE A MINIMUM OF FOUR HOURS OF DIRECT SUNLIGHT IS ACHIEVED, TO A STUBBED JUNCTION BOX ADJACENT TO THE ELECTRICAL METER. ALL EXPOSED CONDUIT SHALL BE CAPPED AND PROVIDED WITH ADEQUATE FLASHING. THE CONDUIT SHALL NOT BE LOCATED ON OR IN THE DIRECTION OF A NORTH FACING ROOF. ROOF REINFORCEMENTS SHALL BE ADDRESSED AT THE TIME OF INSTALLATION.

SOLAR HEATING SYSTEM. INSTALLATION OF THREE-FOURTHS INCH DIAMETER HOT AND COLD COPPER WATER PIPES FROM A SOUTH-FACING, EAST-FACING, OR WEST-FACING ROOF, WHERE A MINIMUM OF FOUR HOURS OF DIRECT SUNLIGHT IS ACHIEVED, TO AN EXISTING WATER HEATER TANK. BOTH ENDS OF THE THREE-FOURTHS INCH DIAMETER COPPER PIPES SHALL BE STUBBED OUT AND SHALL NOT BE LOCATED ON OR IN THE DIRECTION OF A NORTH-FACING ROOF. ALL EXPOSED PIPES SHALL BE CAPPED AND PROVIDED WITH ADEQUATE FLASHING. ROOF REINFORCEMENTS SHALL BE ADDRESSED AT THE TIME OF INSTALLATION.



SEE SHEET P-04.0 FOR
DRAINAGE CALCULATIONS

OVERALL ROOF PLAN
SCALE: 3/32"=1'-0"

AREA OF ROOF
FOR FUTURE
PHOTOVOLTAIC
SYSTEM AND/OR
SOLAR PANELS,
SEE NOTES ON
SHEETS A-04.0

NOTES

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PROJECT

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DRAWING

Overall Roof Plan and Details

SEAL



Nelson de Leon
AR 13937

SHEET NO.

A-04.0

SCALE

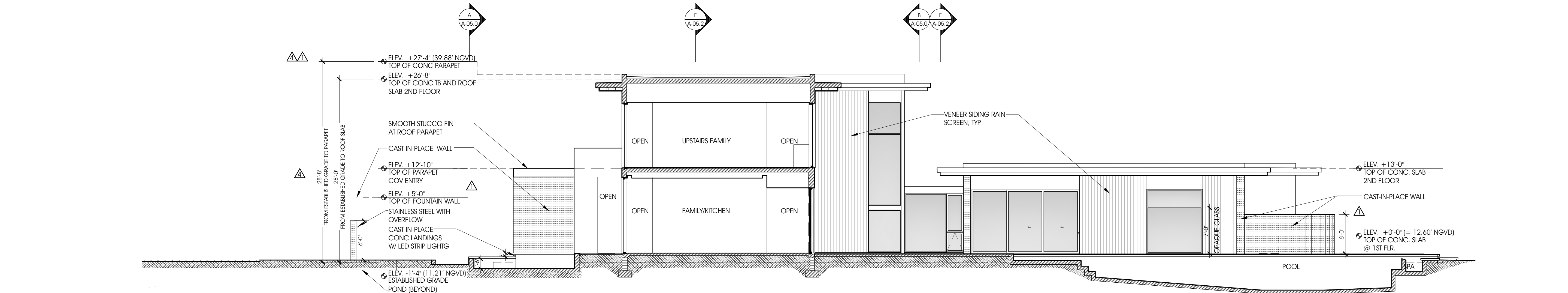
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REVIEWED

NDL

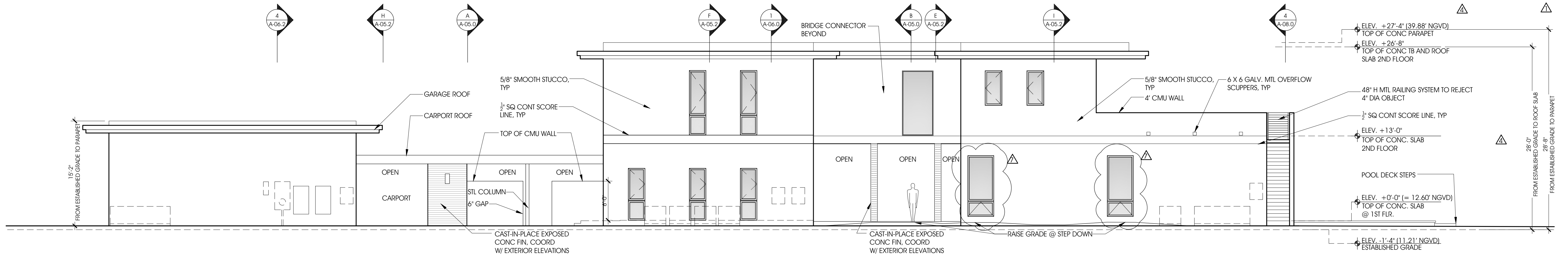
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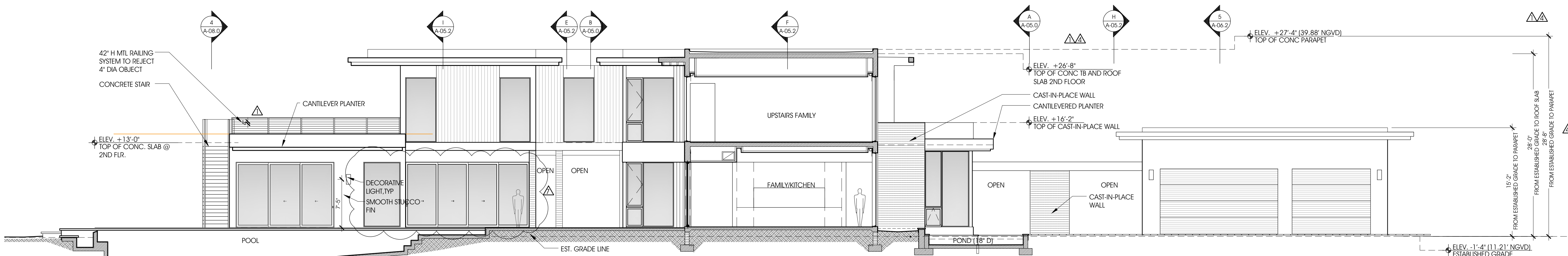
BUILDING SECTION-ELEVATION: D-D

SCALE: 1/8" = 1'-0"



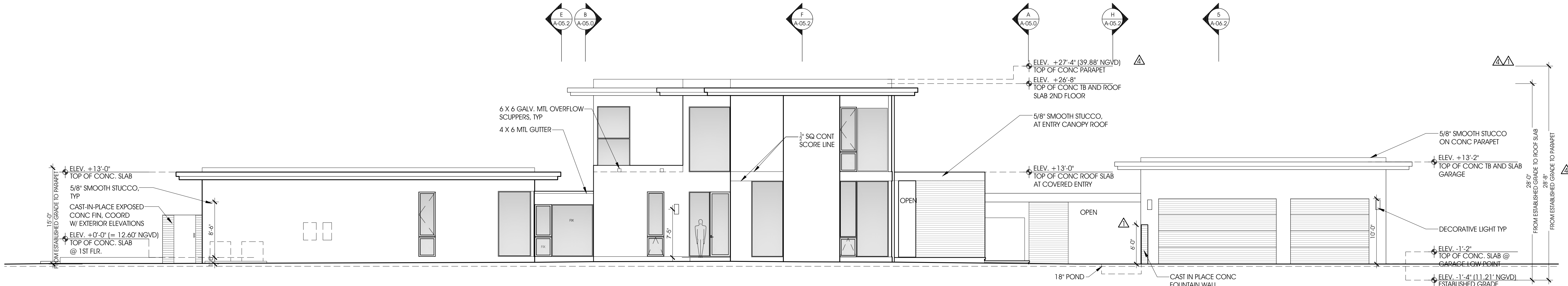
SIDE-WEST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING SECTION-ELEVATION: C-C

SCALE: 1/8" = 1'-0"



SIDE-EAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

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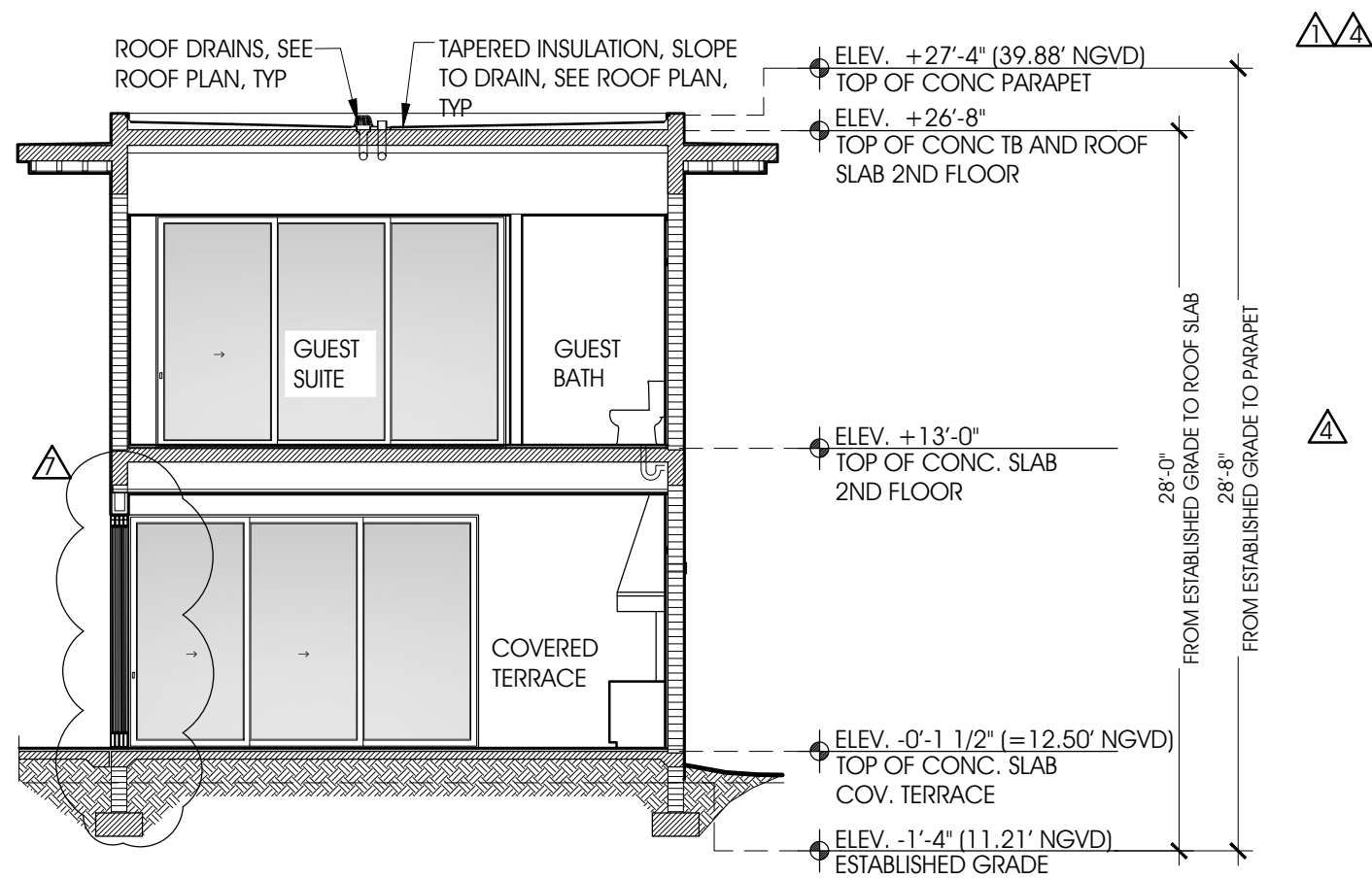
DRAWING

Overall Exterior Elevations
East and West Sides, CC and DD

SEAL  Nelson de Leon AR 13937	SCALE DRAWN REVIEWED NDL PROJ. NO. 351
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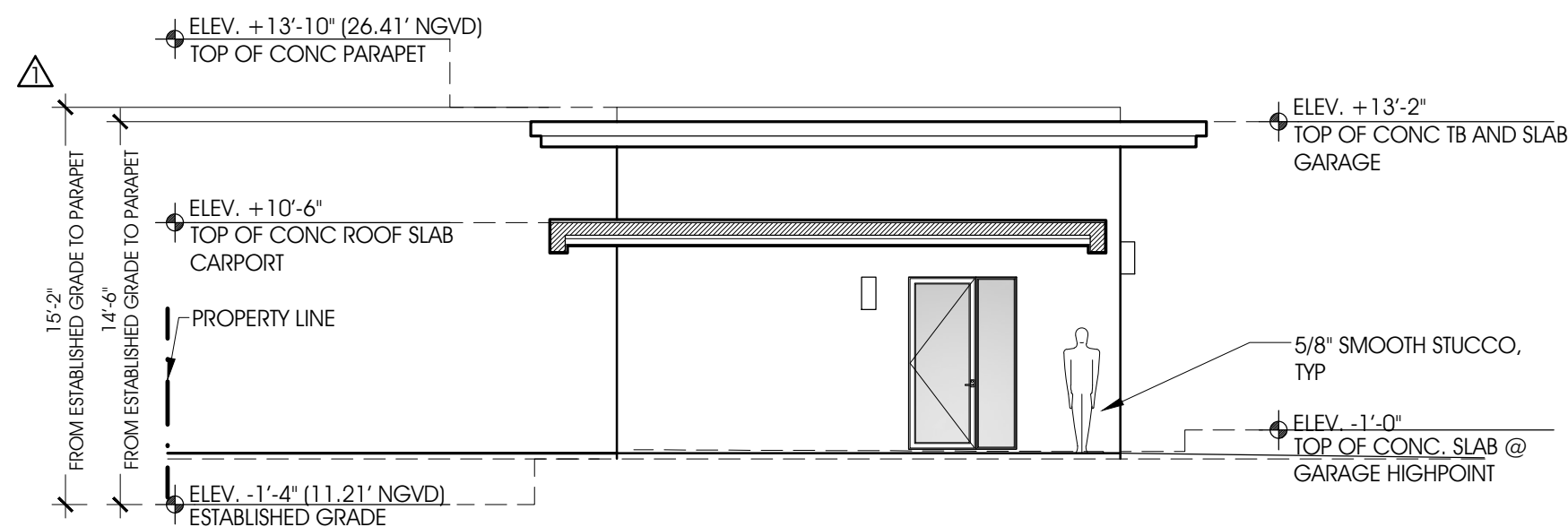
SHEET NO.

A-05.1



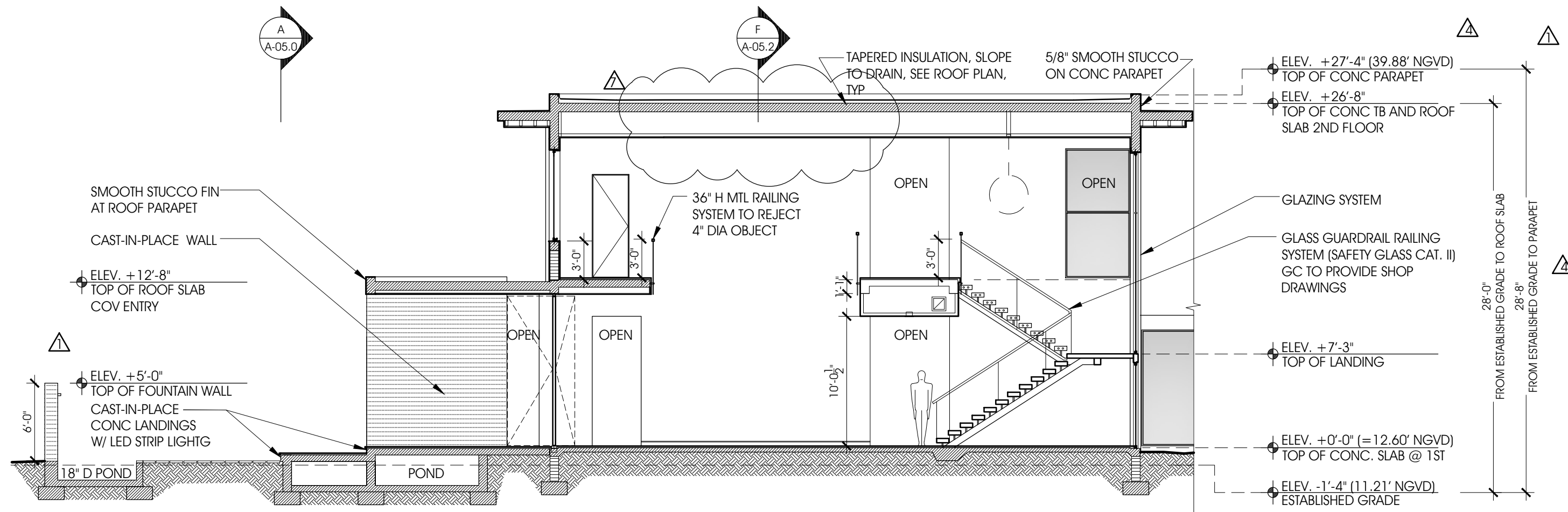
BUILDING SECTION : I-I

SCALE: 1/8" = 1'-0"



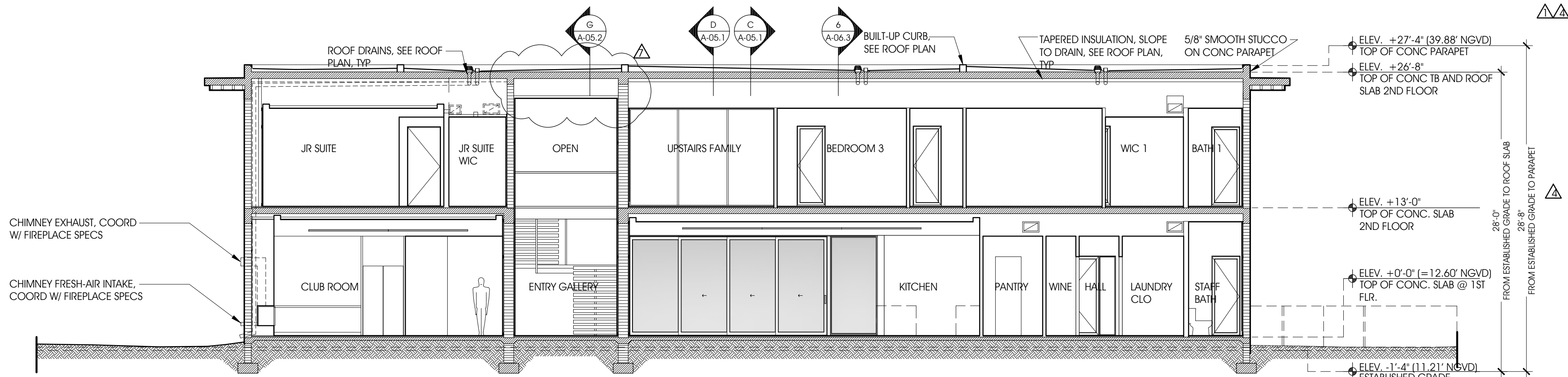
BUILDING SECTION : H-H

SCALE: 1/8" = 1'-0"



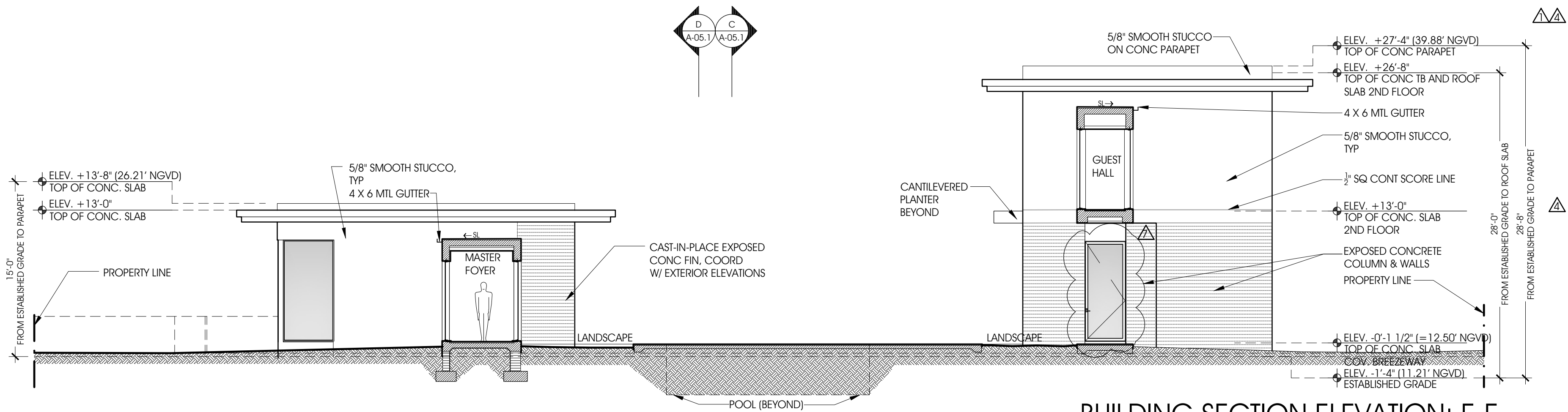
BUILDING SECTION ELEVATION: G-G

SCALE: 1/8" = 1'-0"



BUILDING SECTION ELEVATION: F-F

SCALE: 1/8" = 1'-0"



BUILDING SECTION ELEVATION: E-E

SCALE: 1/8" = 1'-0"

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DRAWING

Overall Building Sect-Elevations
EE, FF and GG

SEAL



Nelson de Leon
AR 13937

SHEET NO.

A-05.2

SCALE

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NOTES

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DRAWING

Door Schedule

SEAL

STATE OF FLORIDA

REGISTRATION NUMBER: AR 13937

REGISTERED ARCHITECT

Nelson de Leon
AR 13937

SCALE

-

DRAWN

REVIEWED

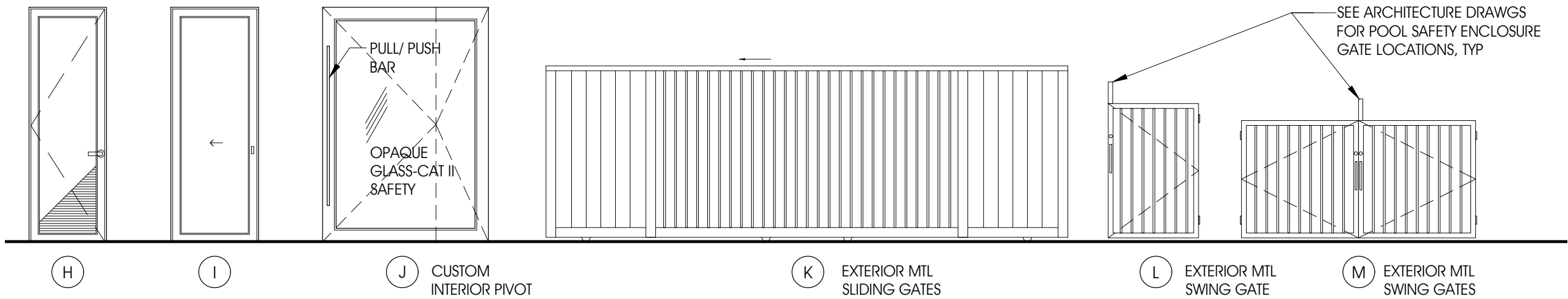
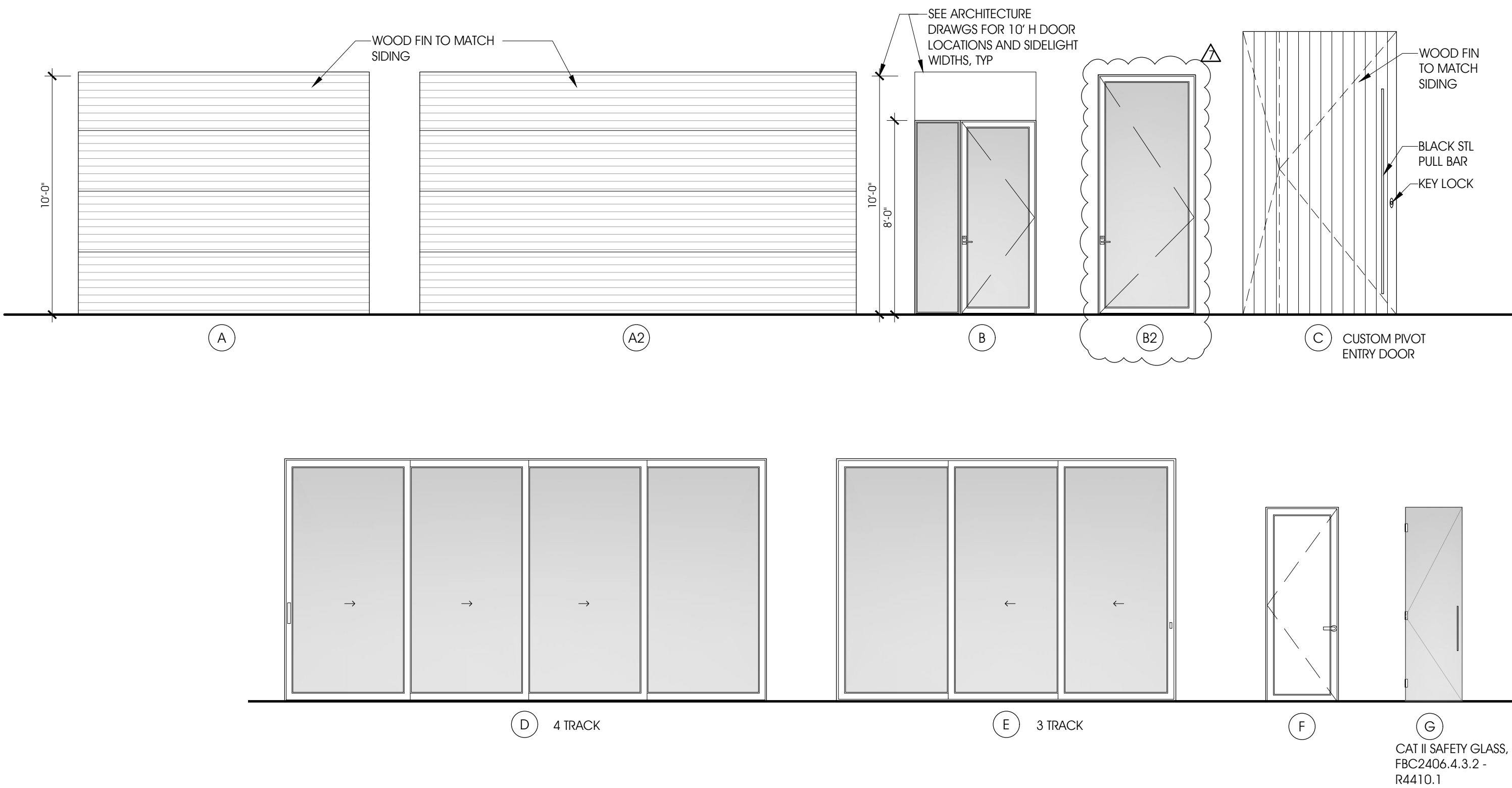
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PROJ. NO.

351

SHEET NO.

A-07.0



DOOR ELEVATIONS

SCALE: 1/4" = 1'-0"

FIRST FLOOR MAIN HOUSE DOOR SCHEDULE

DOOR #	DOORS						FRAMES						IMPACT GLASS	HOW GROUP	REMARKS
	TYPE	MAT.	FIN.	SIZE			TYPE	MAT.	FIN.	DETAILS					
				WIDTH	HEIGHT	THICK				JAMB	HEAD	SILL			
100	A	MTL	-	12'-0"	10'-0"	-	-	MTL	-	-	-	-	-	-	GARAGE DOOR
101	A2	MTL	-	18'-0"	10'-0"	-	-	MTL	-	-	-	-	-	-	GARAGE DOOR
102	B	MTL/GL	-	3'-0"	8'-0"	-	-	MTL	-	-	-	-	YES	-	2'-0" SIDELIGHT. COORDINATE SIDELIGHT POSITION WITH FLOOR PLAN
103	C	WD	STAIN	6'-4"	11'-8"	-	-	WD	-	-	-	-	-	-	ENTRY CUSTOM PIVOT DOOR
104	B	MTL/GL	-	3'-0"	8'-0"	-	-	MTL	-	-	-	-	YES	-	2'-0" SIDELIGHT. COORDINATE SIDELIGHT POSITION WITH FLOOR PLAN
105	B	MTL/GL	-	3'-0"	8'-0"	-	-	MTL	-	-	-	-	YES	-	2'-0" SIDELIGHT. COORDINATE SIDELIGHT POSITION WITH FLOOR PLAN
106	D	MTL/GL	-	20'-0"	10'-0"	-	-	MTL	-	-	-	-	YES	-	FOUR TRACKS SLIDING DOOR
107	E	MTL/GL	-	16'-9"	10'-0"	-	-	MTL	-	-	-	-	YES	-	THREE TRACKS SLIDING DOOR
108	B	MTL/GL	-	3'-0"	10'-0"	-	-	MTL	-	-	-	-	YES	-	2'-0" SIDELIGHT. COORDINATE SIDELIGHT POSITION WITH FLOOR PLAN
109	B	MTL/GL	-	3'-0"	10'-0"	-	-	MTL	-	-	-	-	YES	-	3'-4" SIDELIGHT. COORDINATE SIDELIGHT POSITION WITH FLOOR PLAN
110	E	MTL/GL	-	15'-0"	10'-0"	-	-	MTL	-	-	-	-	YES	-	THREE TRACKS SLIDING DOOR
111	E	MTL/GL	-	15'-0"	10'-0"	-	-	MTL	-	-	-	-	YES	-	THREE TRACKS SLIDING DOOR
112	F	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
113	G	GL	-	2'-6"	8'-0"	-	-	-	-	-	-	-	-	-	CAT II SAFETY GLASS, FBC2406.4.3.2 - R4410.1. WINE CELLER CUSTOM DOOR
114	H	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	FULLY LOUVERED
115	H	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	FULLY LOUVERED
116	F	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	ELEVATOR
117	F	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
118	F	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
119	F	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
120	G	GL	-	2'-4"	8'-0"	-	-	-	-	-	-	-	-	-	CAT II SAFETY GLASS, FBC2406.4.3.2 - R4410.1
121	F	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
122	I	WD	PAINT	2'-10"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	POCKET DOOR
123	H	WD	PAINT	2'-10"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	FULLY LOUVERED
124	J	WD	PAINT	5'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	CUSTOM PIVOT INTERIOR DOOR
125	H	WD	PAINT	2'-4"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	FULLY LOUVERED
126	H	WD	PAINT	2'-4"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	FULLY LOUVERED
127	F	WD	PAINT	2'-10"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	COMPLYS W/ 29" CLEAR OPENING 
128	F	WD	PAINT	2'-10"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	COMPLYS W/ 29" CLEAR OPENING
129	I	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	POCKET DOOR
130	I	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	POCKET DOOR
131	G	GL	-	2'-4"	8'-0"	-	-	-	-	-	-	-	-	-	CAT II SAFETY GLASS, FBC2406.4.3.2 - R4410.1
132	G	GL	-	3'-0"	8'-0"	-	-	-	-	-	-	-	-	-	COORDINATE W/ SALINA SPEC'S. CAT II SAFETY GLASS, FBC2406.4.3.2-R4410.1
133	G	GL	-	3'-0"	8'-0"	-	-	-	-	-	-	-	-	-	CAT II SAFETY GLASS, FBC2406.4.3.2-R4410.1
134	F	WD	PAINT	2'-10"	8'-0"	-	-	-	-	-	-	-	-	-	COMPLYS W/ 29" CLEAR OPENING 
135	I	WD	PAINT	4'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	POCKET DOOR
136	D	MTL/GL	-	19'-0"	10'-0"	-	-	MTL	-	-	-	-	YES	-	FOUR TRACKS SLIDING DOOR
137	B2	MTL/GL	-	4'-0"	10'-0"	-	-	MTL	-	-	-	-	YES	-	

SECOND FLOOR DOOR SCHEDULE

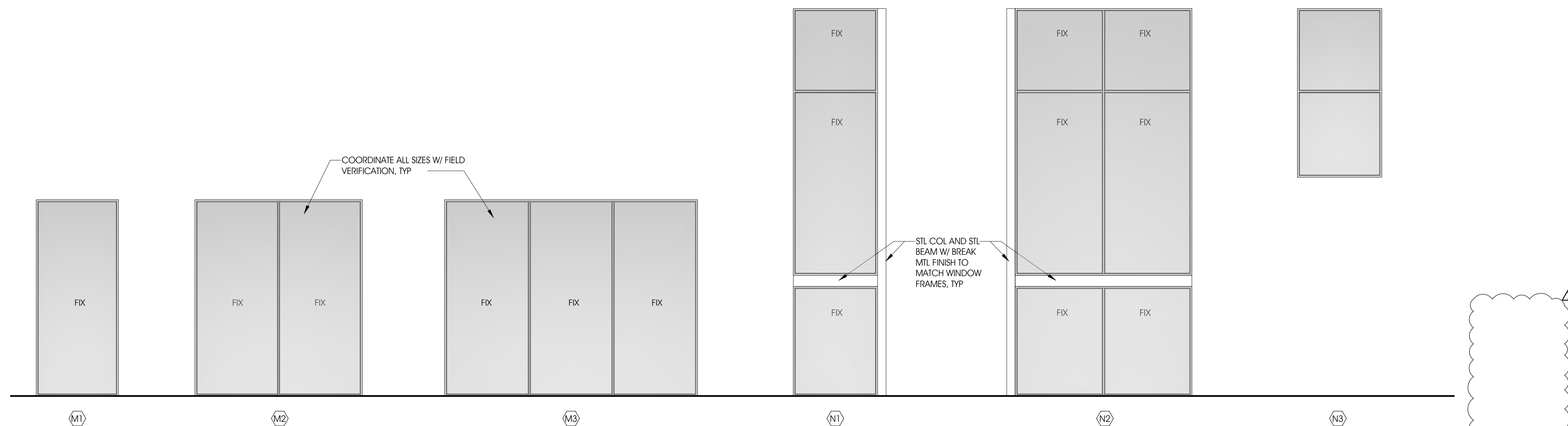
200	E	MTL/GL	-	15'-9"	10'-0"	-	-	MTL	-	-	-	-	YES	-	THREE TRACKS SLIDING DOOR
201	I	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	POCKET DOOR
202	F	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	ELEVATOR
203	F	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
204	F	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
205	F	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
206	G	GL	PAINT	2'-4"	8'-0"	-	-	-	-	-	-	-	-	-	CAT II SAFETY GLASS, FBC2406.4.3.2 - R4410.1
207	H	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	FULLY LOUVERED
208	F	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
209	I	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	POCKET DOOR
210	G	GL	PAINT	2'-4"	8'-0"	-	-	-	-	-	-	-	-	-	CAT II SAFETY GLASS, FBC2406.4.3.2 - R4410.1
211	F	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
212	F	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
213	F	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
214	G	GL	PAINT	2'-4"	8'-0"	-	-	-	-	-	-	-	-	-	CAT II SAFETY GLASS, FBC2406.4.3.2 - R4410.1
215	F	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
216	H	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	FULLY LOUVERED
217	H	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	FULLY LOUVERED
218	I	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	POCKET DOOR
219	F	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
220	G	GL	PAINT	2'-4"	8'-0"	-	-	-	-	-	-	-	-	-	CAT II SAFETY GLASS, FBC2406.4.3.2 - R4410.1
221	F	WD	PAINT	3'-0"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
222	F	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
223	F	WD	PAINT	2'-6"	8'-0"	1 3/4"	-	WD	-	-	-	-	-	-	
224	G	GL	PAINT	2'-4"	8'-0"	-	-	-	-	-	-	-	-	-	CAT II SAFETY GLASS, FBC2406.4.3.2 - R4410.1

SITE DOOR SCHEDULE

G-01	K	MTL	-	12'-0"	6'-0"	-	-	MTL	-	-	-	-	-	-	AUTOMATIC SLIDING GATES
G-02	L	MTL	-	3'-0"	5'-0"	-	-	MTL	-	-	-	-	-	-	ENTRY GATE DOOR WITH MAGNETIC LOCK
G-03	M	MTL	-	(2) 4'-0"	4'-0"	-	-	MTL	-	-	-	-	-	-	POOL ENCL. GATE SELF-CLOSING & SELF-LOCKING & EQUIPPED W/ SAFE LOCK
G-04	L	MTL	-	3'-0"	4'-0"	-	-	MTL	-	-	-	-	-	-	POOL ENCL. GATE SELF-CLOSING & SELF-LOCKING & EQUIPPED W/ SAFE LOCK

NOTES:

- ALL EXTERIOR DOORS BY ES WINDOWS-PRESTIGE SERIES.
- ALL EXTERIOR DOORS SHALL BE IMPACT RESISTANT 7/16", GREY TINTED GLASS, BLACK FRAMES.
- ALL GLASS TO MEET OR EXCEED CAT II SAFETY GLASS, FBC2406.4.3.2 - R4410.1
- HARDWARE AS SELECTED BY OWNER. GC TO PROVIDE SAMPLES FOR APPROVAL.
- ALL GLASS SHOWER DOORS WILL BE 1/2" TEMPERED SAFETY GLASS.
- ALL INTERIOR DOORS SHALL BE SOLID CORE. (COORDINATE STYLE WITH OWNER).
- GC TO VERIFY ALL OPENINGS, PROVIDE NOA AND SHOP DRAWINGS FOR ARCHITECT'S REVIEW.
- GC TO COORDINATE DOOR SWING OR SLIDE DIRECTION WITH ARCHITECTURAL PLANS.
- INTERIOR DOOR HARDWARE BY EMTEK OR AS SELECTED BY OWNER.
- WINDOWS AND DOORS U-FACTOR AND SHGC TO COMPLY W/ MEP ENERGY CALCULATIONS. (U=1.09, SHGC=0.37) △



NOTES:

1. ALL EXTERIOR WINDOWS BY ES WINDOWS PRESTIGE SERIES.
2. ALL EXTERIOR WINDOWS SHALL BE IMPACT RESISTANT, GRAY TINTED GLASS, BLACK FRAMES.
3. ALL GLASS TO MEET OR EXCEED CAT II SAFETY GLASS, FBC2406, 4.3.2 - R44.10
4. HARDWARE AS SELECTED BY OWNER, GC TO PROVIDE SAMPLES FOR APPROVAL.
5. GC TO VERIFY ALL OPENINGS, PROVIDE NOKA AND SHOP DRAWINGS FOR ARCHITECTS REVIEW.
6. GC TO COORDINATE WINDOW SWING OR SLIDE DIRECTION WITH ARCHITECTURAL PLANS.
7. COORDINATE WINDOW SCREEN LOCATIONS W/ OWNER.
8. WINDOWS AND DOORS U-FACTOR AND SHGC TO COMPLY W/ MEP ENERGY CALCULATIONS. (U=1.09, SHGC=0.37)

351 PROJ. N

SCALE: 1/4" = 1'-0"