

GENERAL INFORMATION:

PROPERTY ADDRESS: 12805 W 69th COURT  
MIAMI, FLORIDA 33156  
FOLIO No.: 20-5014-044-0010  
LEGAL DESCRIPTION: FAIRMONT ACRES SEC 2 PB 75-97  
LOT 10 BLK 3  
F/A/U 30-5014-044-00

ZONING INFORMATION:

CODE OF ORDINANCES VILLAGE OF PINECREST, VOL. II, CHAPTER 30  
PRIMARY ZONE: 2100 ESTATES - 15,000 SF LOT  
PRIMARY LAND USE: 0101 RESIDENTIAL - SINGLE FAMILY: 1 UNIT  
ZONING DISTRICT: EU-M (RESIDENTIAL MODIFIED ESTATE)  
NET LOT AREA: 14,985 SF (0.34 ACRE)  
LOT COVERAGE: 4,097 SF (27.34%)

| LOT COVERAGE:                       | ALLOWED                | PROVIDED      |
|-------------------------------------|------------------------|---------------|
| MAX. BUILDING COVERAGE - 30%        | 14,985x0.30 = 4,495 SF | 4,097 SF (*)  |
| MAX. IMPERVIOUS SURFACE RATIO - 65% | 14,985x0.65 = 9,740 SF | 8,208 SF (**) |
| MIN. GREEN SPACE - 35%              | 14,985x0.35 = 5,245 SF | 6,792 SF      |
| (*) INCLUDES THE FOLLOWING:         |                        |               |
| EXISTING RESIDENCE:                 | 2,464 SF               |               |
| EXISTING TERRACE:                   | 428 SF                 |               |
| EXISTING FRONT ENTRY:               | 39 SF                  |               |
| NEW ADDITION:                       | 1,166 SF               |               |
| TOTAL:                              | 4,097 SF               |               |
| (**) INCLUDES THE FOLLOWING:        |                        |               |
| POOL:                               | 581 SF                 |               |
| POOL DECK:                          | 1,229 SF               |               |
| PAVED AREAS:                        | 2,301 SF               |               |
| LOT COVERAGE:                       | 4,097 SF               |               |
| TOTAL:                              | 8,208 SF               |               |

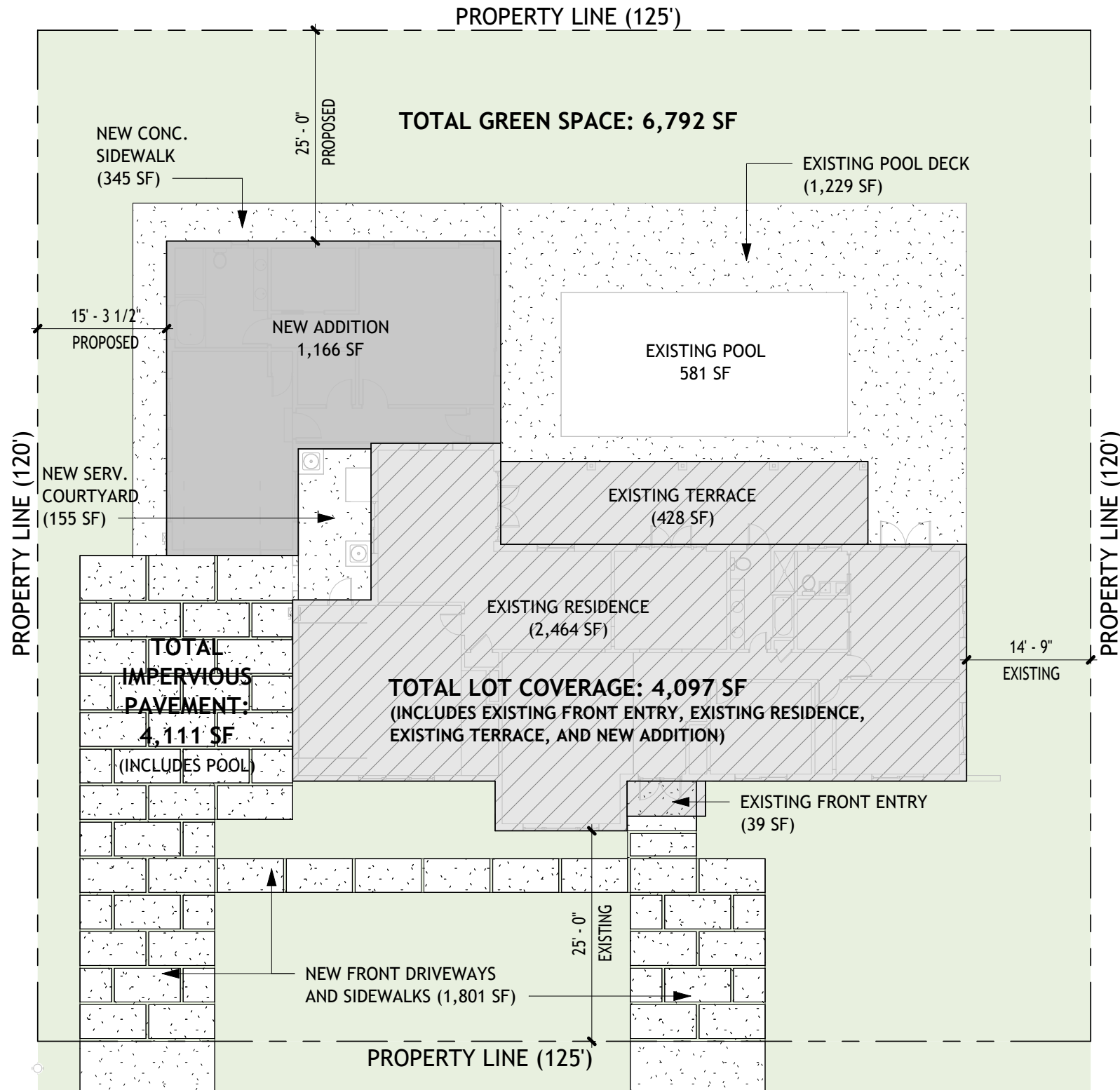
| BUILDING HEIGHT LIMIT: | ALLOWED                     | PROVIDED                       |
|------------------------|-----------------------------|--------------------------------|
| PRINCIPAL USE          | ONE STORY<br>STRUCTURE: 24' | ONE STORY<br>STRUCTURE: 13'-7" |

SETBACKS:

| MAIN HOUSE SETBACKS           | REQUIRED | PROVIDED        |
|-------------------------------|----------|-----------------|
| FRONT: (TO NEW ADDITION)      | 25'-0"   | 57'-8"          |
| REAR: (TO NEW ADDITION)       | 25'-0"   | 25'-0"          |
| BETWEEN BUILDING              | 10'-0"   | N/A             |
| SIDE: NORTH (TO NEW ADDITION) | 15'-0"   | 15'-4"          |
| SIDE: SOUTH                   | 15'-0"   | 14'-9" (EXIST.) |

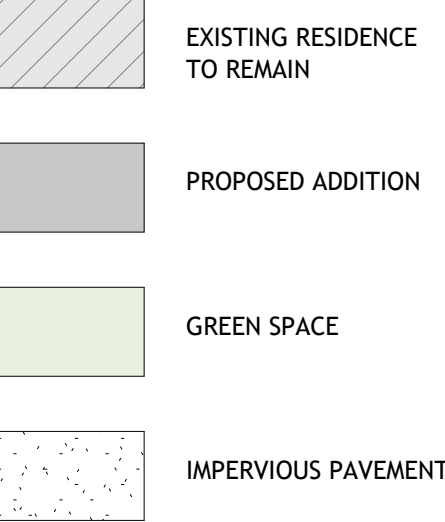
CONDITION OF PERMIT - PW-SFR-D/W

- No fill of ANY KIND can be brought on site or to the ROW outside of the building footprint.
- No runoff generated from the driveway is permitted to discharge directly to the ROW or adjacent properties.
- The ROW swale is to be graded using the Village PW Standard.
- No trees are to be planted in the ROW before a conditional approval of the rough grading of the swale has been approved by Public Works.
- No shrubs are to be planted in the ROW and any existing shrubs are to be removed.
- No IRRIGATION, LIGHTING, or ELECTRICAL COMPONENTS of any kind may be installed in the ROW.
- All proposed trees in the ROW will be planted a minimum of 78#39; from the edge of pavement to the face of the tree and will be of a type, kind, and spacing as approved by the Public Works Department. Public Works contact information is: publicworks@pinecrest-fl.gov
- Any decorative d/w in the ROW shall have an 8"W x 12"D, 3,000-psi, fiber mesh concrete header curb located between the asphalt and the proposed d/w. THE EDGE OF THE HEADER CURB WILL BE A MINIMUM OF 10' FROM THE CENTERLINE OR TO THE EDGE OF THE EXISTING ASPHALT EDGE, WHICHEVER IS GREATER.
- No materials of ANY kind will be stored for any length of time on the public swale.
- Existing sidewalks will be maintained at all times, free of any loose material, and open to pedestrian traffic at all times. No vehicles can park on the sidewalk at any time.
- Any sidewalk crossed by a d/w approach must be replaced with 6" thick sidewalk and extend to the next adjacent whole flag on either side of the new approach. Longitudinal slope cannot exceed 5% and maximum cross slope is 2%. All sidewalk construction that intersects with a crosswalk must be parallel with that cross walk and will have detectable warning surface placed permanently in concrete - NO screw-down detectable warning surface is permitted. ALL sidewalk in the ROW will be a MINIMUM of 10' from the nearest edge of pavement and marked as such in the signed and sealed plans.
- ALL work conducted in the ROW will implement the applicable FDOT Standard Index 600 Series for MOT.
- All sidewalk replacement will be open to traffic within 48 hours of the sidewalk being closed for demo. This includes demolition of existing sidewalk, placing forms, placing and finishing concrete and stripping forms.
- No portion of the public ROW and can be enclosed by the contractor's fence at any time.
- ALL sod in the ROW will be SAND GROWN "EMPIRE ZOYSIA"
- All driveway approaches will meet all ADA requirements for obstructions, both vertical and horizontal and for slope, both cross slope and longitudinal.



1 LOT COVERAGE AND GREEN SPACE DIAGRAM  
1/16" = 1'-0"

SITE PLAN LEGEND

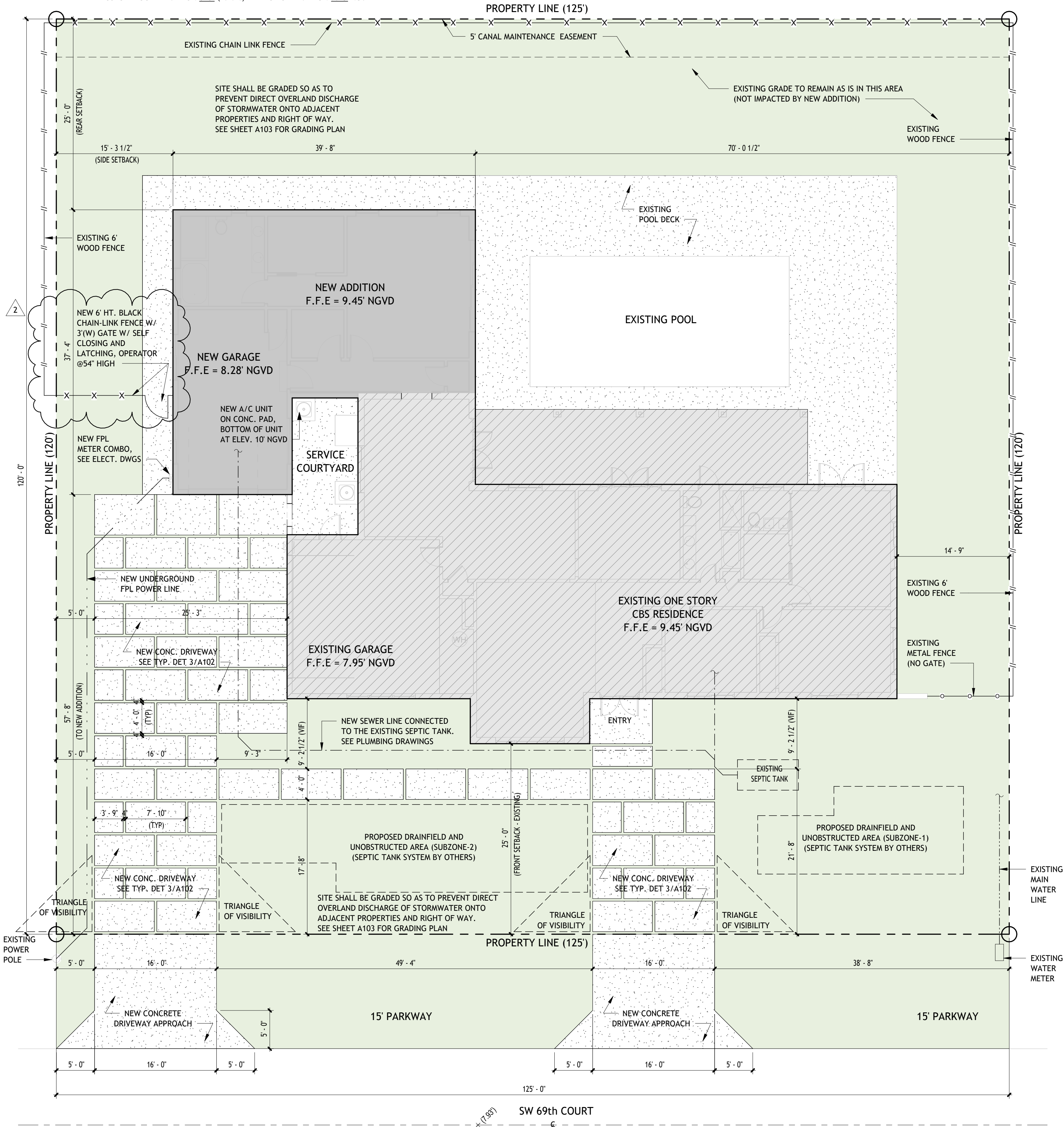


FLOOD ZONE INFORMATION:

FLOOD ZONE: 'AE'  
HIGHEST CROWN ROAD: 7.93' NGVD  
FEMA BASE FLOOD ELEVATION: 10.0' NGVD  
FINISH FLOOR ELEVATION AT MAIN RESIDENCE (AT EXISTING): 9.45' NGVD  
FINISH FLOOR ELEVATION AT MAIN RESIDENCE (AT ADDITION): 9.50' NGVD  
FINISH GRADE ELEVATION AT GARAGE LOWEST POINT(AT EXISTING): 7.95' NGVD  
FINISH GRADE ELEVATION AT GARAGE LOWEST POINT(AT ADDITION): 8.00' NGVD  
FINISH GRADE ELEVATION AT LOWEST ADJACENT GRADE (AT ADDITION): 8.50' NGVD  
PROJECT FLOOR ELEVATION 0'-0" (F.F.E.) REFERS TO ELEVATION 9.45' NGVD

AREA CALCULATION:

|                                 |          |
|---------------------------------|----------|
| EXISTING RESIDENCE A/C AREA     | 1,942 SF |
| EXISTING GARAGE                 | 439 SF   |
| EXISTING COVERED TERRACE        | 537 SF   |
| NEW RESIDENCE ADDITION A/C AREA | 838 SF   |
| NEW GARAGE                      | 328 SF   |
| TOTAL                           | 4,084 SF |



2 NEW SITE PLAN  
1/8" = 1'-0"



studio  
jpa

Client:  
Victor Lau

Address:  
12805 SW 69th Court  
Miami, FL 33156

Project Name:

Residence Addition

Architect:  
Studio JPA, Inc., AA26003764  
Jorge I. Perez, AIA  
10051 SW 120 St, Miami, FL 33176  
786.543.9093 / jorge@studiojpa.com

Consultants:  
Structural Engineer  
Jorge a. Gomez Agostini P.E. / Lic. No. 91272  
8187 Nw 8th St Apt 305 Miami, FL 33126  
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E:jorge89cu@gmail.com

M.E.P. Engineer  
Diniester Marcelo, P.E. / Lic. No. 73149  
6734 SW 136 CT Miami, FL 33183  
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Seal / Digital Signature:



This item has been digitally signed and sealed by Jorge I. Perez, R.A. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

|             |            |             |      |
|-------------|------------|-------------|------|
| Submitted:  | Permit Set | Project No: | 2303 |
| Issue Date: | 4/25/2024  | Drawn by:   | JP   |

| No. | Description     | Date       |
|-----|-----------------|------------|
| 1   | PERMIT COMMENTS | 10/30/2024 |
| 2   | PERMIT COMMENTS | 1/7/2025   |
|     |                 |            |
|     |                 |            |
|     |                 |            |
|     |                 |            |
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Sheet Name

NEW SITE PLAN

Sheet No.

A101