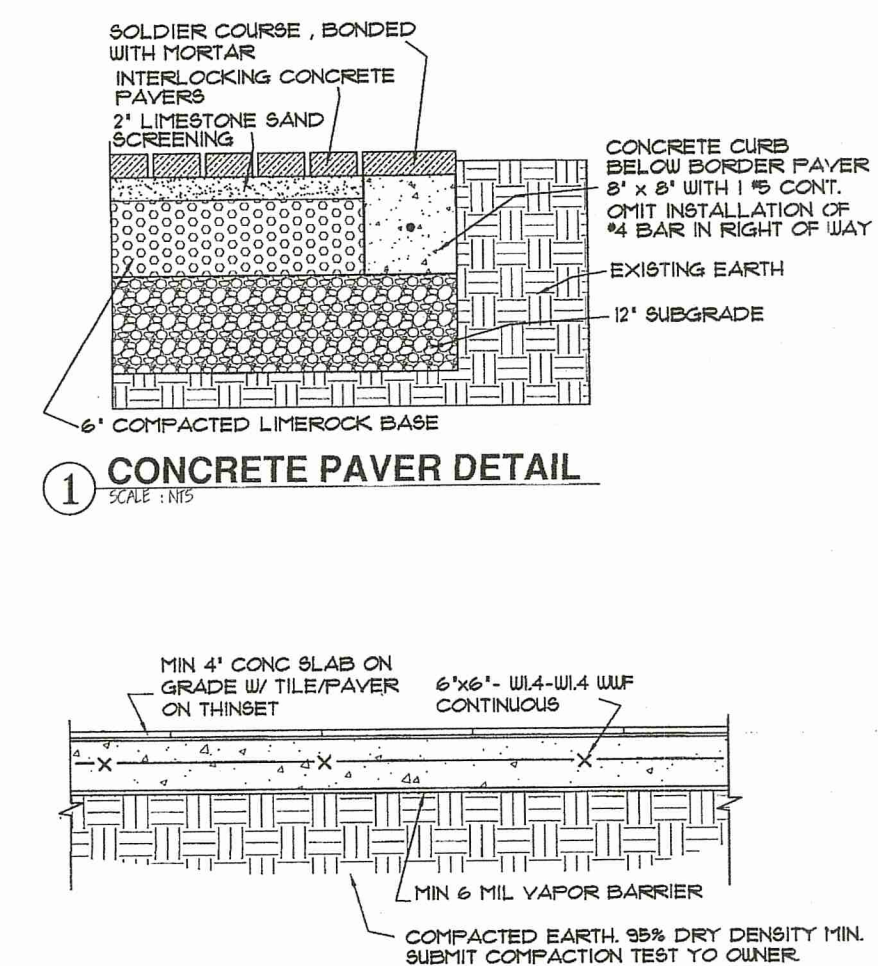
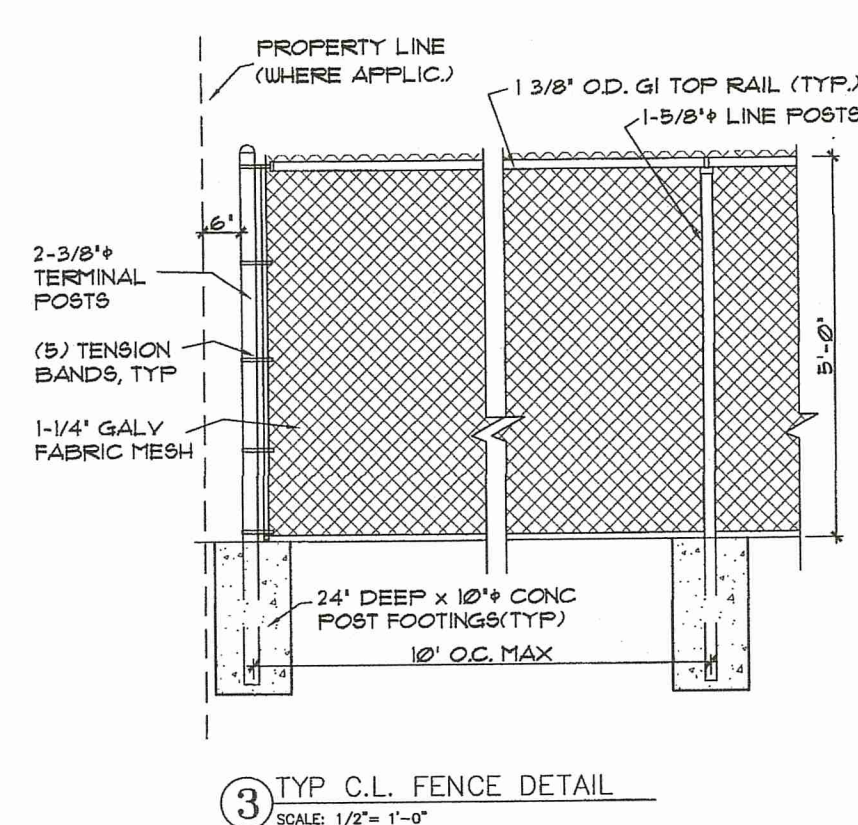


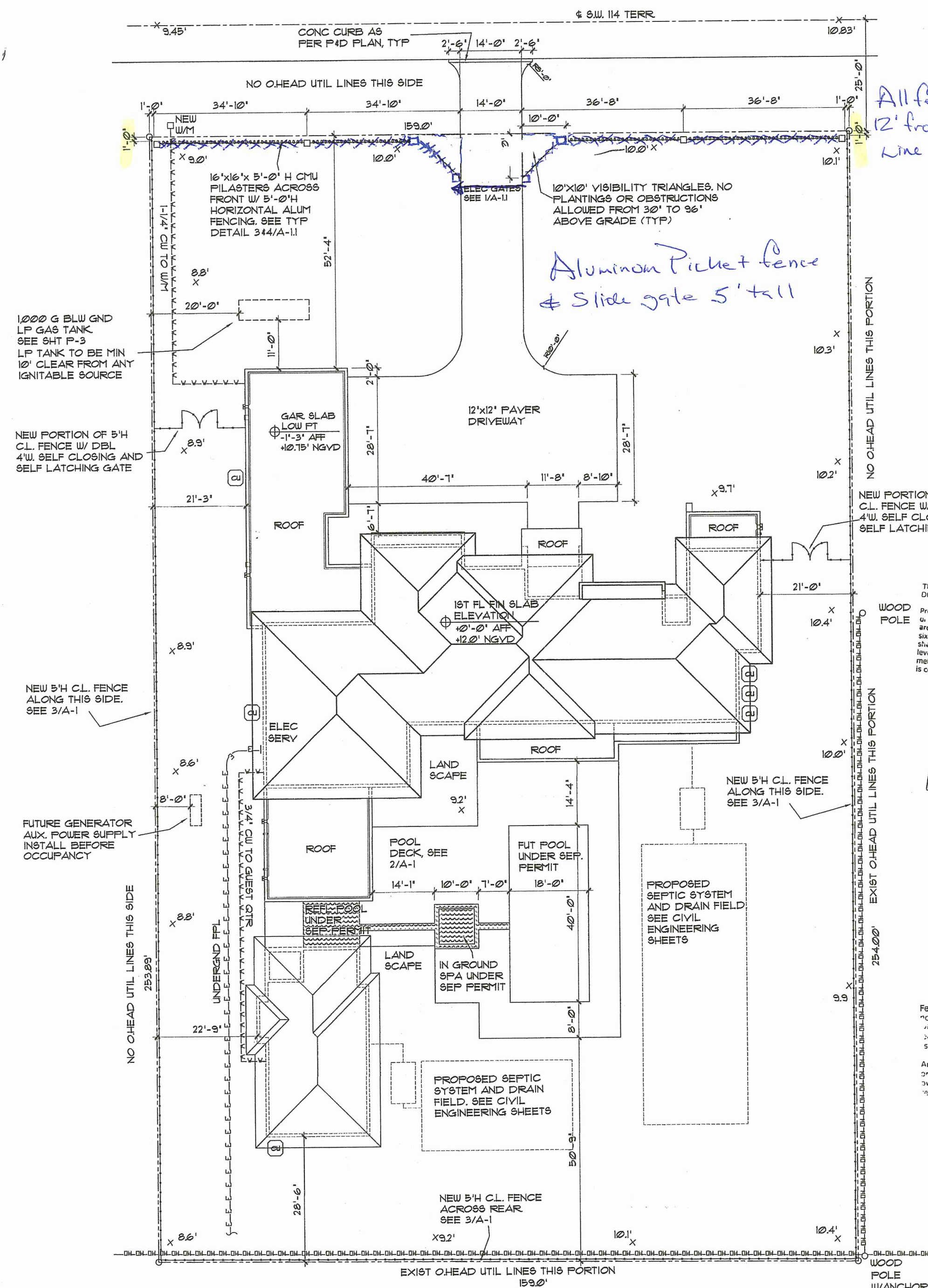


BUILDING AREA COMPUTATION		SQ FEET
1ST FL A/C AREA		4,959 SF
2ND FL A/C AREA		3,352 SF
TOTAL A/C AREA		8,311 SF
TOTAL 2ND FL AREA AS PER PINECREST ZONING INCL 2ND FL A/C (3352 SF), DBL HGT STAIR/ELEV (282 SF), DBL HGT LIVING RM (399 SF)		4,033 SF
DOUBLE HGT PORTION OF COVERED FRONT ENTRY OF 80 SF TRANSFERED FROM ALLOWABLE 1ST FL F.A.R.		+ 80 SF
		= 4,113 SF
GARAGE		783 SF
COVERED FRONT ENTRY		143 SF
LIVING RM REAR TERRACE		269 SF
BBQ REAR TERRACE		565 SF
BREEZEWAY		148 SF
GUEST QUARTERS		928 SF
1ST FL EAST SIDE COVERED AREA		55 SF
TOTAL BLDG FOOTPRINT (LOT COVERAGE INCLUDING A/C AREAS, GARAGE, COVERED TERRACES)		7,850 SF
2ND FL AREAS TRANSFERRED FROM ALLOW 1ST FL F.A.R.- PORTION OF DBL HGT COVERED FRONT ENTRY (80 SF)		80 SF
PER PINECREST ZONING ACT 9 DIV 9.2 THE TOTAL BLDG FOOTPRINT (LOT COVERAGE INCLUDING A/C AREAS, GARAGE, COVERED TERRACES AND 2ND FL AREAS TRANSFERRED TO 2ND FLOOR F.A.R.)		7,850 SF + 80 SF 7,930 SF
II. IMPERVIOUS LOT COVERAGE		
FUT POOL, SPA, REFL POOL AND POOL DECK DRIVEWAY		2,944 SF
EQUIPMENT SLABS		2,620 SF
BLDG LOT COVER(FROM ABOVE)		150 SF
		7,850 SF
TOTAL HARDSCAPE		13,564 SF

ZONING LEGEND			
FOLIO # 20-50-12-010-0200			
1. ZONING :		EU-1	
2. LOT AREA			
NET AREA		40,380 SF	
GROSS AREA (INCL. R.O.W.)		N. A.	
3. LOT COVERAGE.	MIN.	MAX.	PROPOSED
PRINCIPAL BUILDING LOT COVERAGE	N. A.	20 %	18.8%
ACCESSORY BUILDING.	N. A.	8,078 SF	7,990 SF
GREEN SPACE	35 %	N. A.	68.4 %
	13,448 SF		25,816 SF
4. SETBACKS :		MIN.	PROPOSED
<u>PRINCIPAL BUILDING:</u>			
FRONT (NORTH)		50'-0"	52'-4"
EAST SIDE		20'-0"	21'-0"
WEST SIDE		20'-0"	21'-3"
REAR (SOUTH)		25'-0"	28'-0"
<u>ACCESSORY BUILDING:</u>			
FRONT			
EAST SIDE		NA	
WEST SIDE STREET			
REAR (SOUTH)			
BETWEEN BUILDINGS			
5. BUILDING HEIGHT		MAX.	PROPOSED
MEASURED FROM NAVD ELEVATION AS NOTED ON ELEVATIONS		35'-0"	31'-4"

FLOOD PROGRAM CRITERIA
FLOOD ZONE: 'X' MIN ELEV - N.A.
PROPOSED FIN. FL. ELEV - +10.0' N.G.V.D.
EXIST HIGHEST CROWN OF ROAD ELEV - +10.83' N.G.V.D.
AVERAGE CROWN OF ROAD ELEV - +10.14' N.G.V.D.
PROPOSED GARAGE FIN. FL. ELEV AT LOW FT - +10.15' N.G.V.D
HIGHEST ADJACENT GRADE ELEV - +10.6' N.G.V.D.

LEGAL DESCRIPTION
LOT 8 BLK 2 OF BRUCE-LAURIE SUBDIVISION
PLAT BK 53, PG. 34 IN MIAMI DADE COUNTY



All fence set back
12' from property
line.

Aluminum Picket Fence
+ Slide gate 5' tall

WOOD POLE Protective barriers shall be in place on any construction. Protective barriers shall be around each tree, or cluster of trees, six (6) feet (in radius) from trunk. Barriers shall be a minimum of four (4) feet high, at least one foot above ground level and shall be constructed of wood, metal and shall remain in place until construction is completed.

POOL EQUIPMENT, A/C UNITS and
OTHER MECHANICAL EQUIPMENT
MUST BE SCREENED WITH SHRUBS
PLANTED AT A MINIMUM OF
36 INCHES IN HEIGHT

Pool Requirements:
Self-Locking/
Self-closing
Gates Required
Fence: 4' high (Min)
and Non-Climbable
From Outside

Any fence or wall erected in a driveway or right-of-way may require removal, at the owner's expense, if access to the area is obstructed for any purpose.

REVISION BY

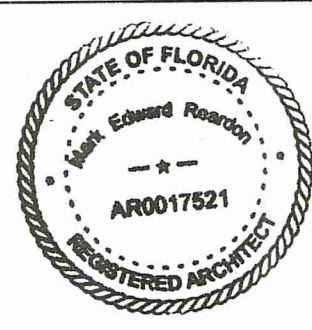
MR
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architect
LIC# A60017521
mark@reardonarchitect.com

15790 SW 88TH AVE
MIAMI, FL 33157
AR 0017521
786-355-6910

**LEED
AP
BD+C**

NOTE: ALL DRAWINGS FOR THIS PROJECT ARE TO BE READ IN CONJUNCTION WITH EACH OTHER. THESE DRAWINGS ARE TO BE USED TO ARCHITECTURAL, SURVEYING, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, SPECIALTY DRAWINGS, & WRITTEN SPECIFICATIONS

THE G.C. IS TO VERIFY ALL EXISTING SITE CONDITIONS AND THOROUGHLY CHECK ELEVATIONS & DIMENSIONS BEFORE COMMENCING WORK. REPORT THE ARCHITECT OR ENGINEER ANY DISCREPANCIES, ERRORS OR CONDITIONS THAT WILL AFFECT CONSTRUCTION AS INTENDED BY THE DRAWINGS. ARCHITECT IS NOT RESPONSIBLE FOR ANY WORK AND/OR MATERIALS FURNISHED ON THE JOB.



Mark Reardon Digitally signed by Mark Reardon
Date: 2023.07.07:25:16 -04'0

NEW HOUSE FOR
5900 LLC
5900 SW 114 TER
PINECREST, FL

DRAWN BY:	MER
DATE:	5/15/23
SCALE:	AS NOTED
SHEET NO.:	

A-1