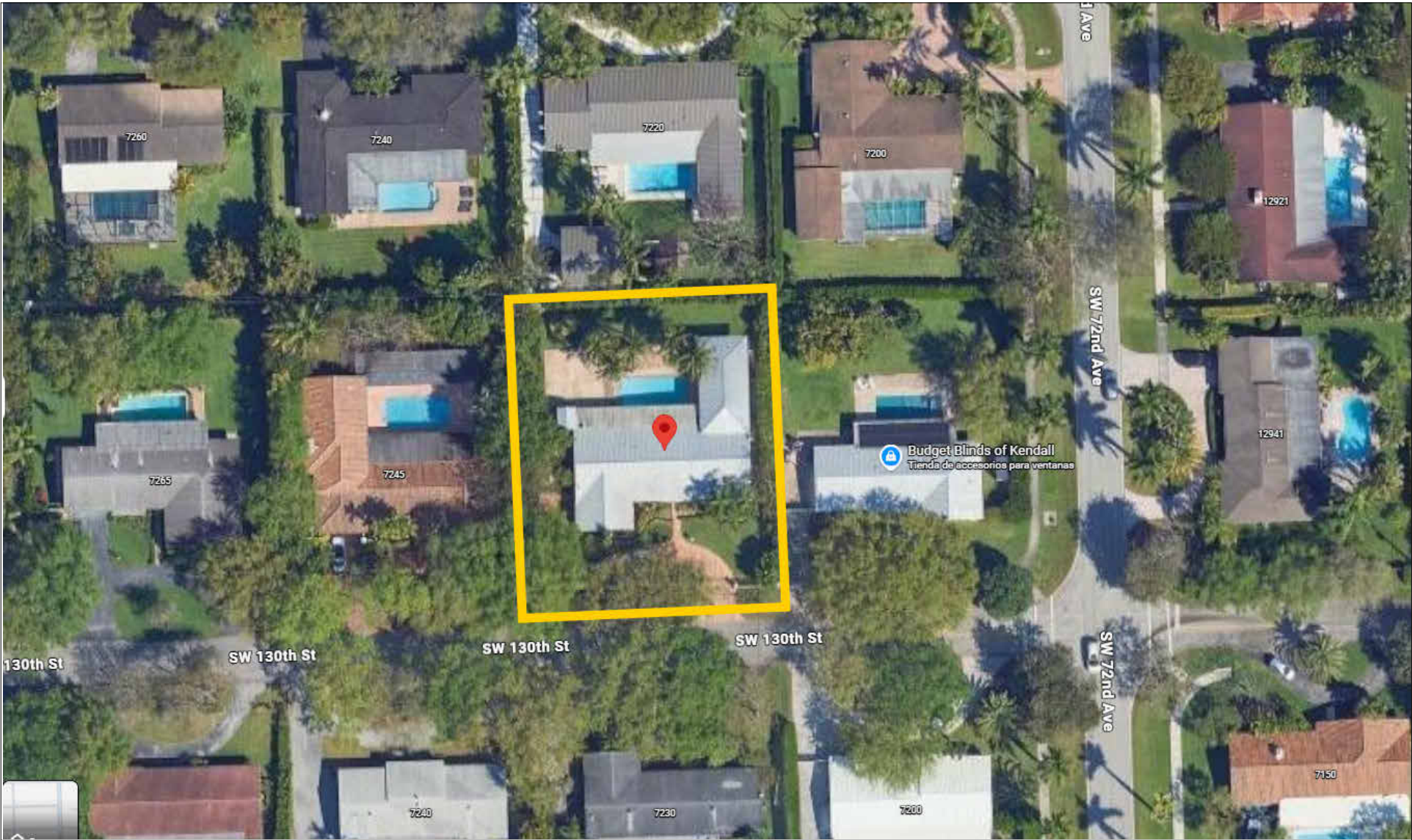




LOCATION MAP

N.T.S.



PROJECT FOR:

INTERNAL REMODELING PROJECT

7225 SW 130 STREET, PINECREST, FL 33156

GENERAL NOTES

REV. 1/2024

- ALL WORK SHALL CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES.
- ALL DIMENSIONS SHOW ARE FROM FACE OF MASONRY OR FRAME, UNLESS NOTED OTHERWISE. VERTICAL DIMENSIONS ARE FROM TOP OF SLAB OR SUB FLOOR, EXCEPT WHERE NOTED TO BE FROM ABOVE FINISHED FLOOR (A.F.F.) DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF DESIGNER UNLESS NOTED.
- GENERAL CONTRACTOR SHALL COMPLY WITH ALL BASE BUILDING REQUIREMENTS AND DESIGN CRITERIA.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND E.O.R. IN WRITING OF ANY DEFICIENCIES IN BASE BUILDING WORK PRIOR TO THE COMMENCEMENT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR AND SHALL PROVIDE ANY EXISTING FINISHES INCLUDING ELEVATORS, LOBBIES AND CORRIDORS OF THE BASE BUILDING.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDBLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE RESOLVED PRIOR TO RELATED WORK BEING STARTED.
- THE CONTRACTOR SHALL CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF APPLIANCES, EQUIPMENT, MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS. AND ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTORS NEGLIGENCE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.
- GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATION OF ANY MECHANICAL, TELEPHONE, ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT(INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF EQUIPMENT ARE PROVIDED. ELEMENTS TO BE EXPOSED OR CONCEALED SHALL BE DETERMINED AND REVIEWED WITH ARCHITECT AND E.O.R. PRIOR TO CONSTRUCTION PROCEEDING.
- IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN IN THE SPECIFICATION, CONTACT ARCHITECT AND E.O.R., BY WRITING IMMEDIATELY FOR CLARIFICATION. DIMENSIONS NOTED ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME, DISCOVER ANY DISCREPANCY IN A DRAWING OR SPECIFICATION OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS OR OTHER INFORMATION, HE SHALL CONTACT E.O.R. IMMEDIATELY AND NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.
- WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS WILL NOT BE ACCEPTABLE IN CONSEQUENCE OF OWNERS OR DESIGNERS FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION, NOR WILL PASSAGE OF COUNTY INSPECTIONS RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY THE CONTRACT. DEFECTIVE WORK REVEALED WITHIN THE GUARANTEE PERIOD SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT. NO PAYMENT, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS, CONTRACT DOCUMENTS, GOVERNING CODES, ORDINANCES, ETC. REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE. IF AT ANY TIME BEFORE COMMENCEMENT OR DURING PROGRESS OF THE WORK, CONTRACTORS METHODS, EQUIPMENT OR APPLIANCES ARE DEEMED INEFFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK, OR RATE OF PROGRESS INTENDED BY CONTRACT DOCUMENTS, OWNER MAY ORDER CONTRACTOR TO IMPROVE THE QUALITY OR INCREASE THE EFFICIENCY. THIS WILL NOT RELIEVE CONTRACTOR OR HIS SURETIES FROM THEIR OBLIGATIONS TO SECURE QUALITY OF WORK AND RATE OF PROGRESS SPECIFIED IN CONTRACT.
- ARCHITECT AND E.O.R, INC, IF ACTING AS THE OWNERS DESIGNATED AGENT FOR DESIGNING THIS PROJECT, WILL EXERCISE AUTHORITY ALONG WITH THE OWNER FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT AND SYSTEMS WITH THE INTENT OF THE DESIGN. REVIEW AND ACCEPTANCE OF ALL ITEMS PROPOSED BY CONTRACTOR FOR INCORPORATION INTO THIS WORK WILL BE BY ARCHITECT AND/OR E.O.R APPROVAL. THIS FUNCTION OF THE DESIGNER WILL APPLY BOTH TO CONTRACT AS INITIALLY SIGNED, AND TO THE CHANGES OR CONTRACT DURING PROGRESS OF WORK.
- REGARDING NEW ITEMS PROVIDED: ONLY ITEMS OF RECENT MANUFACTURE, OR STANDARD QUALITY, FREE FROM DEFECTS, WILL BE ACCEPTED. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE JOB AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE CONTRACT.
- THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. THE FINISH SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKING, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
- ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDINGLY AND TO THESE CONDITIONS. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST CONTRACTOR, THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.
- ELECTRIC WORK SHALL CONFORM TO THE CURRENT "NATIONAL ELECTRIC CODE" ALL EXISTING CONDITIONS SHALL BE THOROUGHLY REVIEWED FOR IMPACT ON ANY EXISTING FUNCTION AND COORDINATED PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. CONTRACTOR SHALL REPAIR ALL FINISH SURFACES OF REMAINING WALLS, FLOORS AND CEILINGS AFFECTED BY THE DEMOLITION. THE STRUCTURAL INTEGRITY AND ANY FIRE, SOUND CONTROL OR FLAME SPREAD RATING SHALL BE MAINTAINED ON ALL SURFACES OR ASSEMBLIES AFFECTED BY THE DEMOLITION OR NEW CONSTRUCTION.
- THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS. ANY CONFLICTS, OMISSIONS, OR DISCREPANCIES SHALL BE REPORTED IN WRITING, THREE (3) BUSINESS DAYS BEFORE RETURN OF BID. THE GENERAL CONTRACTOR WARRANTS BY TENDERING HIS BID THAT WORK IS BUILDBLE AS SHOWN.
- WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES AND ORDINANCES AND OTHER AGENCIES HAVING JURISDICTION. THE RULES AND REGULATIONS OF OSHA SHALL BE ADHERED TO FOR THIS PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS; TECHNICAL SEQUENCES PROCEDURES AND SAFETY PRECAUTIONS, AND FOR THE COORDINATION OF HIS WORK AND FOR THE WORK PERFORMED BY HIS SUBCONTRACTORS.
- DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS, AND TYPES. AND WINDOW LOCATIONS SHALL BE SHOWN ON THE CONTRACT DOCUMENTS. IN CASE OF CONFLICT, ARCHITECT AND OR E.O.R. FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- PARTITIONS ARE DIMENSIONED FROM FACE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR FINISH THICKNESS INCLUDING, BUT NOT LIMITED TO, CARPET, CERAMIC TILE, VCT, LVT, ETC. CONTRACTOR SHALL NOT ADJUST DIMENSIONS WITHOUT WRITTEN APPROVAL OF THE ARCHITECT AND E.O.R.
- CONTRACTOR SHALL LAYOUT PARTITIONS FOR OWNER TO REVIEW FOR DESIGN INTENT. DO NOT PROCEED WITH INSTALLATION OF STUDS WITHOUT THIS REVIEW APPROVAL IN WRITING. CONTRACTOR SHALL COORDINATE AND VERIFY CONDITIONS TO ENSURE PROPER ARRANGEMENT. REVIEW OF DESIGN INTENT DOES NOT RELEASE CONTRACTOR FROM THE RESPONSIBILITY TO MAINTAIN CRITICAL DIMENSIONS AND CLEARANCES. DURING OWNERS REVIEW, CONTRACTOR SHALL MAKE MINOR REVISIONS AS DIRECTED BY THE OWNER WITHOUT ADDITIONAL COST TO THE OWNER.
- NEW GYPSUM BOARD CONSTRUCTION OR JOINING EXISTING CONSTRUCTION TO BE IN THE SAME PLANE, FLUSH WITH NO VISIBLE JOINTS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL INSTALL DRYWALL FURRING AND FRAMING TO ACCOMMODATE DEPTH OF FIRE EXTINGUISHER CABINETS AND OTHER ITEMS INDICATED ON THE DRAWING. CONTRACTOR SHALL COORDINATE DEPTH AND SIZES OF RECESS REQUIRED WITH SPECIFIED EQUIPMENT.
- ALL DISSIMILAR METALS SHALL BE ISOLATED AS REQUIRED TO PREVENT GALVANIC CORROSION.
- ALL PRODUCT INSTALLATIONS SHALL MEET OR EXCEED MANUFACTURERS RECOMMENDED STANDARDS.
- ALL SPOT ELEVATIONS AND LEVEL LINE ELEVATIONS FOR CONSTRUCTION ARE BASED ON AN ASSUMED REFERENCE ELEVATION OF 0'-0" UNLESS INDICATED OTHERWISE.
- PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE AT ACOUSTICAL AND/OR DEMISING PARTITIONS UNLESS OTHER WISE NOTED. PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE FIRE STOPPED WITH THE CORRESPONDENT UL LISTED ASSEMBLIES AND / OR MATERIALS.
- CONTRACTOR SHALL VERIFY REQUIREMENTS AND RESTRICTIONS OF BUILDING MANAGEMENT PERTAINING TO CONSTRUCTION IN THE BUILDING AND COMPLY WITH THE SAME.
- THESE PLANS ARE THE PROPERTY OR ARCHITECTURAL SOLUTIONS, LLC

SPECIAL REQUIREMENTS

- CONTRACTORS SHOULD BE AWARE; ANY CHANGES TO THESE PLANS, REGARDLESS HOW MINOR, WITHOUT THE WRITTEN APPROVAL OF ARCHITECTURAL SOLUTIONS, LLC. OR ANY CONSTRUCTION EXECUTED FROM THESE PLANS WITHOUT THE EXPRESS APPROVAL OF ARCHITECTURAL SOLUTIONS, LLC. OR ANY CHANGES IN THE SCOPE, DESIGN, OR INTENT FOR ANY REASON, BY ANY PERSONS OTHER THAN ARCHITECTURAL SOLUTIONS, LLC. SHALL AUTOMATICALLY RENDER ARCHITECTURAL SOLUTIONS, LLC. HARMLESS TO ANY LIABILITY CLAIMS, SUITS, OR LITIGATION BY ANY INTERESTED PARTIES IN THE PROJECT. IF BOUND SPECIFICATIONS ACCOMPANY THESE PLANS, THEY SHOULD BE READ CAREFULLY FOR ADDITIONAL CONDITIONS.

TEMPORARY FACILITIES

- TEMPORARY UTILITY SERVICES: OWNER WILL ARRANGE AND PAY FOR TEMPORARY UTILITY SERVICES.
- HVAC: CONTRACTOR WILL MAINTAIN AIR TEMPERATURE AND VENTILATION IN CONSTRUCTION AREA TO PROTECT MATERIAL FROM DAMAGE.
- SANITARY FACILITIES: ARRANGE FOR USE OF TEMPORARY PORTABLE FACILITIES AND ENCLOSURES AS REQUIRED.
- G.C. IS RESPONSIBLE TO IMPLEMENT AND MAINTAIN JOB SITE SAFETY AS PER OSHA REQUIREMENTS

RESPONSIBILITIES OF ALL CONTRACTORS

- PAY LEGALLY REQUIRED SALES AND CONSUMER TAXES.
- SECURE AND PAY FOR ALL PERMITS, FEES AND LICENSES AS REQUIRED FOR THE EXECUTION OF THE WORK.
- COMPLY WITH CODES, ORDINANCES, AND OTHER LEGAL REQUIREMENTS OF PUBLIC AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- INFORM ARCHITECTURAL SOLUTIONS, LLC. PROMPTLY OF OBSERVED VARIANCES FROM LEGAL REQUIREMENTS.
- CONTRACTOR TO INFORM ARCHITECTURAL SOLUTIONS, LLC. WITHIN 24HRS OF ANY DISCREPANCY AND DO NOT CONTINUE WITH WORK THAT IS AFFECTED. WILL BE AT CONTRACTOR RESPONSIBILITY AND SOLE EXPENSES OF ANY REPAIRS THAT THIS CAN CAUSE. ARCHITECT AND E.O.R. TO RESPONDED WITHIN A TIMELY MANNER, UNLESS ADDITIONAL INFORMATION IS REQUIRED.

SUBSTITUTIONS

- REQUEST FOR SUBSTITUTIONS OF PRODUCTS SHALL BE SUBMITTED TO ARCHITECT AND/OR E.O.R. IN WRITING. SUBMITTAL SHALL INCLUDE BUT NOT LIMITED TO: LOCATION, MANUFACTURER SPECS, COST AND AVAILABILITY. ARCHITECT AND E.O.R. WILL RESPOND IN A TIMELY MANNER, UNLESS ADDITIONAL INFORMATION IS REQUIRED.

CONSTRUCTION CLEANING

- CONTRACTOR TO PROVIDE COVERED CONTAINERS FOR THE DEPOSIT OF WASTE MATERIALS. LOCATE EXTERIOR CONTAINERS AS REQUIRED BY STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES. DIRECTED BY OWNER.
- USE ONLY CLEANING MATERIALS WHICH WILL NOT CREATE HAZARD TO HEALTH OR PROPERTY.
- USE ONLY CLEANING MATERIAL RECOMMENDED BY MANUFACTURER OF INSTALLED PRODUCTS.
- MAINTAIN PREMISES DAILY IN A CLEAN AND ORDERLY CONDITION. REMOVE WASTE MATERIAL FROM SITE PERIODICALLY AND DISPOSE OF AT A LEGAL DISPOSAL SITE. CLEAN INTERIOR SPACE PRIOR TO START OF PAINTING OPERATION FOLLOWING MANUFACTURER RECOMMENDATIONS.
- FINAL CLEANING: EMPLOY SPECIAL WORKERS FOR FINAL CLEANING. CLEAN ALL SITE- EXPOSED SURFACES. POLISH ALL GLAZING AND GLOSSY SURFACES. REPLACE HVAC DISPOSAL FILTERS IF THEY WERE IN OPERATION DURING CONSTRUCTION.
- G.C. IS RESPONSIBLE TO IMPLEMENT AND MAINTAIN JOB SAFETY AND JOB CLEANING AS PER OSHA REQUIREMENTS.

SCOPE OF WORK

ARCHITECTURAL PLANS TO PROPOSE THE INTERNAL REMODELING OF THE KITCHEN AREA.

SHEET INDEX

REV. 1/2024

ARCHITECTURE

A-000	COVER SHEET
A-100	PROPOSAL SITE PLAN
D-100	DEMOLITION PLAN
A-200	ARCHITECTURE NOTES
A-300	PROPOSAL FLOOR PLAN
A-400	INTERIOR SECTIONS
A-401	INTERIOR SECTIONS

MECHANICAL

M-100	MECHANICAL PLAN
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ELECTRICAL

E-100	ELECTRICAL PLAN
E-200	PANEL SCHEDULE AND LOAD CALC

PLUMBING

P-100	PLUMBING WATER PLAN
E-200	PLUMBING SANITARY PLAN

ENGINEERING BUSINESS REGISTRY



ARCHITECTURAL SOLUTIONS
LLC

7500 NW 25TH ST. DORAL, FL 33122

LICENSE NUMBER: 39137

(305) 878-3288
www.archisolut.com

PROJECT:

REMODELING PROJECT

ADDRESS:

7225 SW 130 ST, PINECREST, FL 33156

ELECTRONIC SIGNED:

GUTBERTO SUAREZ P.E
Phone: (786) 286-3915

DATE: 12/08/2025

DRAWN: K.B

CHECKED: C.B.

N° DATE

REVISIONS

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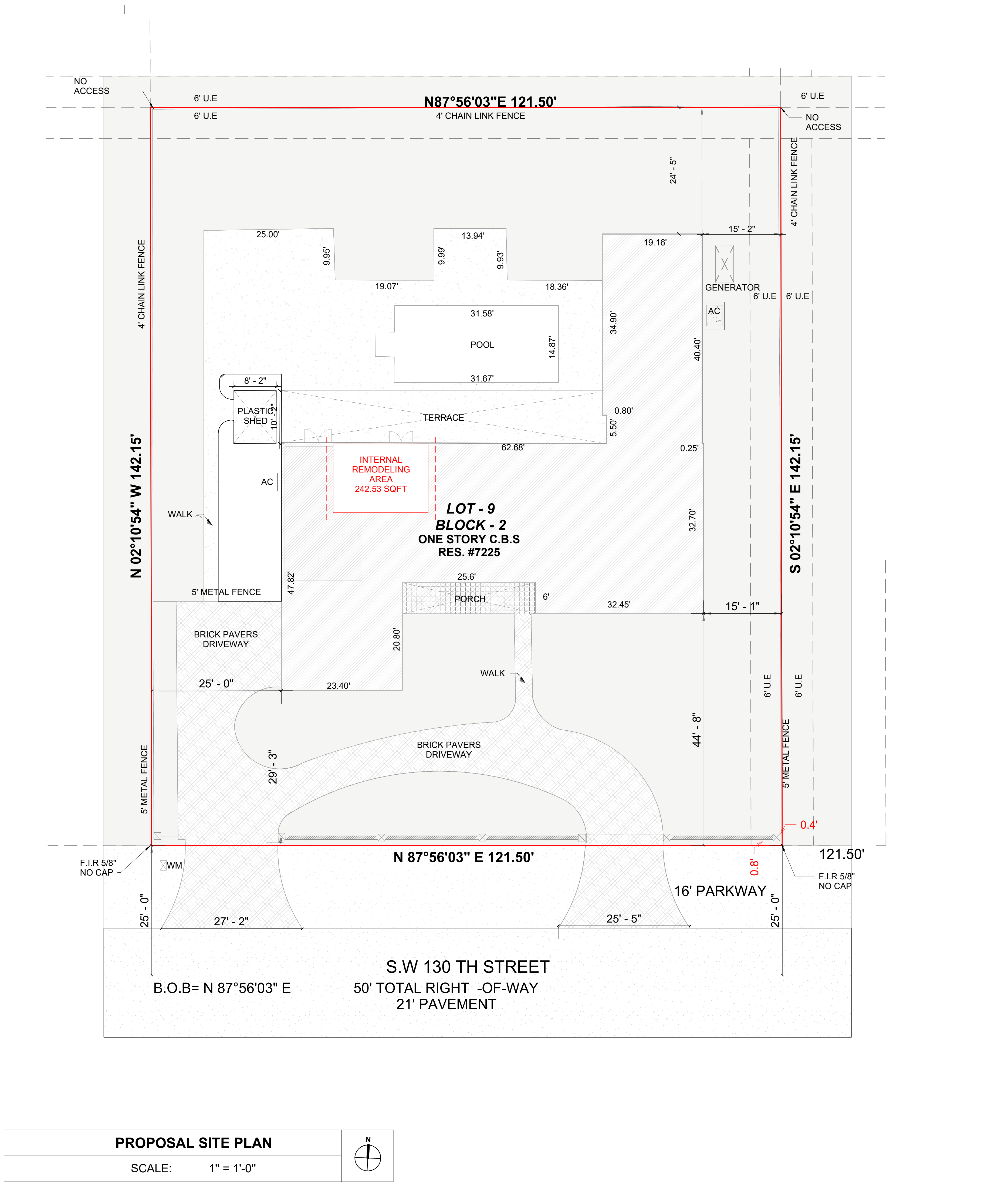
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NOTES OR OBSERVATIONS

FIELD COORDINATION NOTE

REV. 1/2024

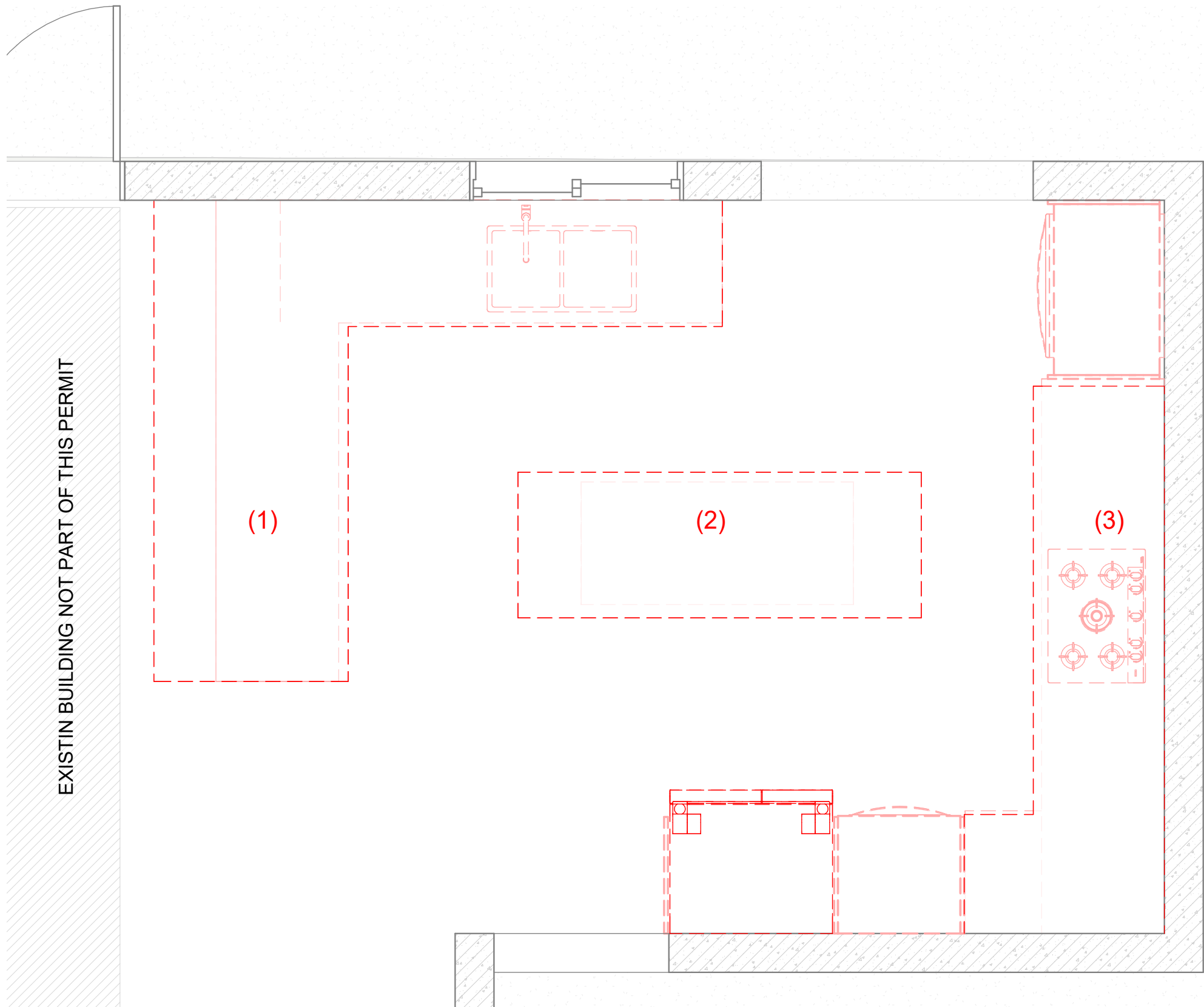
EVERY CONTRACTOR SHALL COORDINATE IN FIELD W/ OTHER TRADES PRIOR TO START OF CONSTRUCTION FOR THE STRUCTURAL BEAM, SLAB/TRUSSES, ARCHITECTURAL DETAILING AS PRE-FAB FORMS, REVELING, CEILINGS, ARCH WITH THE LOCATION OF CEILING OR WALL GRILLES, DUCT WORKS, RETURN GRILLES, LIGHTING FIXTURE, SWITCHES, RECEPTACLES OR ANY OTHER DEVICES, AND TO NOTIFY ARCHITECT/ENGINEER IF ANY CONFLICT OCCUR PRIOR ITS INSTALLATION, NO ADDITIONAL COST TO OWNER CAN BE APPLIED.



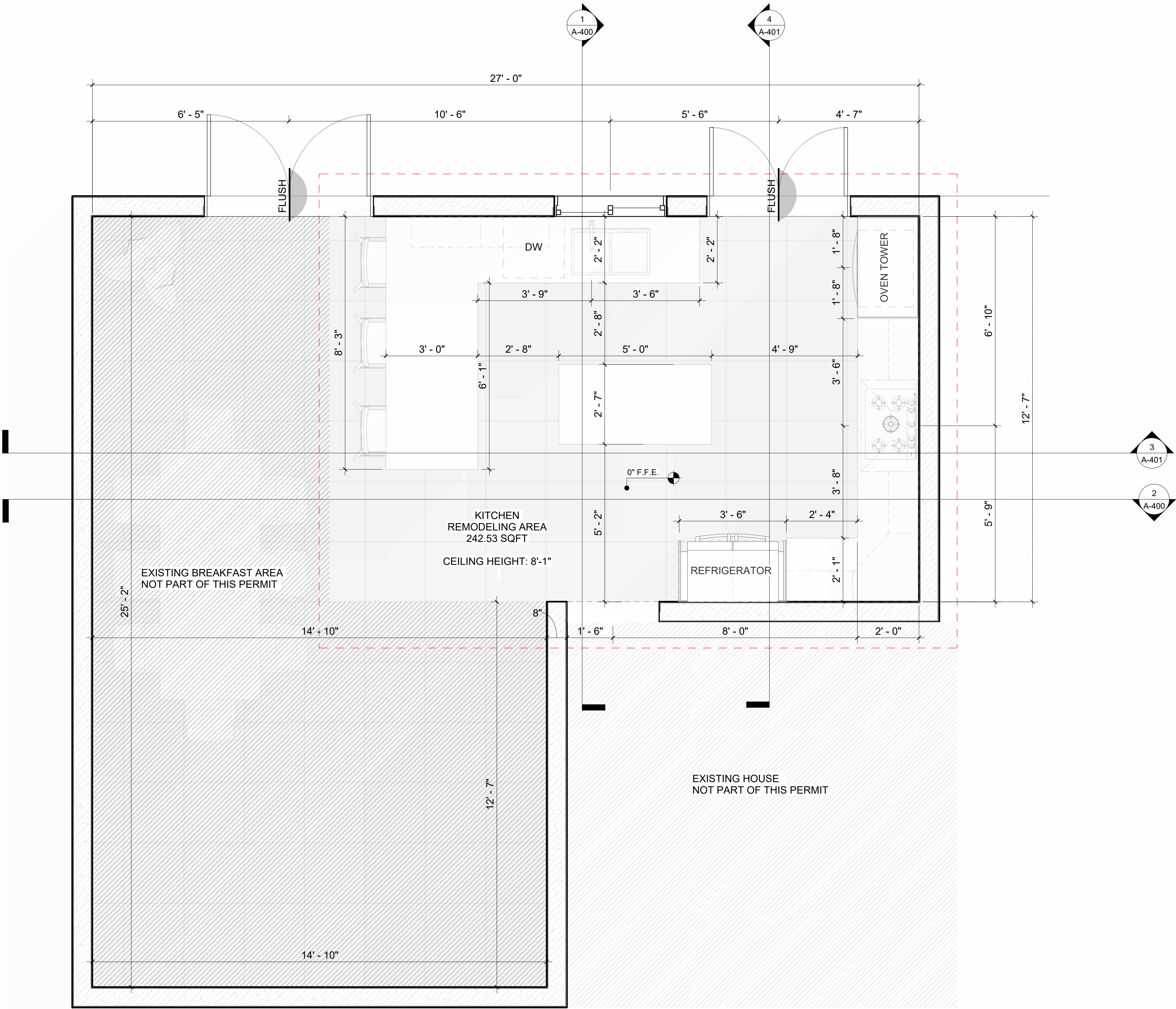
GENERAL NOTES	
1. THIS IS NOT A SURVEY. BOUNDARY INFORMATION SHOWN WAS DRAWN BASED UPON ASSESSOR MAP INFORMATION AND DATA. 2. BOUNDARY LINES & LOTS DIMENSIONS SHOWN HERE IN ARE AN APPROXIMATE AND NEED TO FIELD VERIFY. 3. THE PROPOSED IMPROVEMENTS WERE BASED ON RECORD INFORMATION GIVEN TO THE DESIGNER AT THE TIME OF PREPARATION. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PROPOSED IMPROVEMENTS CONTAINED IN THESE PLANS AND PREVIOUS APPROVED PLAN SUBMITTALS, CONTRACTOR IS TO CONSULT WITH THE DESIGNER AND OWNER PRIOR ANY CONSTRUCTION ACTIVITY. 4. EXISTING STRUCTURES AND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE DESIGNER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THIS INFORMATION SHOWN. 5. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE DESIGNER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY PRIOR TO START OF THE WORK. THIS NOTE ALSO PERTAINS TO ALL SUB-CONTRACTORS. CONTRACTOR IS LIABLE FOR ALL ADJUSTMENTS MADE WITHOUT ENGINEER'S WRITTEN APPROVAL. 6. UNAUTHORIZED CHANGES & USES: THE DESIGNER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE E.O.R. 7. SLOPE DRAINAGE 5% FOR A DISTANCE OF 10FT FROM THE FOUNDATION FLOOR. IF PHYSICAL OBSTRUCTION OR LOT LINES PROHIBIT THE 10FT DISTANCE, U.N.O.; A 2.5% SLOPE SHALL BE PROVIDED TO AN ALTERNATIVE METHOD OF DIVERTING THE WATER AWAY FROM THE FOUNDATION (R401.3) PROVIDE 18"x24" FOUNDATION ACCESS THROUGH THE FLOOR OR 18"x24" ACCESS THROUGH A PERIMETER WALL. POSITION WITHIN 20 FT OF PLUMBING CLEAN OUT. 8.	
SITE PREPARATION:	
1. EXCAVATION SHALL REMOVE ALL GRASS, WEEDS, ROOTS, AND ANY DEBRIS. 2. EXISTING SOFT SILT AND ORGANIC T SOIL LAYER SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL. 3. SAND AND LIME ROCK SOIL CAN BE STOCKED PILED FOLLOWING MUNICIPALITY AND OSHA GUIDANCE AND USED AS BACKFILL. 4. ONCE THE ORGANIC LAYER HAS BEEN REMOVED, THE DE MUCKED SURFACE SHALL BE COMPACTED. 5. FILL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 12 INCHES IN LOOSE THICKNESS. 6. BACKFILL SHALL BE PERFORMED WITH CLEAN SAND, FREE OF ORGANIC MATERIALS AND SHALL BE PLACED IN 12 INCH THICK LAYERS. EACH LAYER SHALL BE COMPACTED TO 95% OF THE SOILS MAXIMUM DENSITY BY TAMPERING SOLIDLY. SOILS BELOW THE DECK SHALL BE PLACED IN SIMILAR MANNER. 7. FILL SHALL CONSIST OF CLEAN SAND, LIME STONE OR GRAVEL. FILL MATERIAL SHALL HAVE A MAXIMUM PARTICLE SIZE OF 3" AND NO MORE THAN 10% PASSING THE No. 200 SIEVE. 8. IN ALL CASES, CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT EXISTING STRUCTURES FROM FAILURE BY SHEATHING AND/OR SHORING, OR OTHER METHODS AS REQUIRED. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE SAFETY OF EXISTING STRUCTURES. 9. THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE STRUCTURE CONSTRUCTION IN EASEMENT OR REQUIRED SETBACK AREAS. PLOT PLANS NOT PREPARED FROM LEGAL SURVEYS OF THE EXISTING LOT AND RESIDENCE ARE SO INDICATED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND ESTABLISH LOT LINES. IF NECESSARY, CONTRACTOR AND/OR OWNER SHALL VERIFY SHOWN AND ALL DIMENSIONS PRIOR TO CONSTRUCTION. 10. CONTRACTOR SHALL ESTABLISH LOCATIONS OF UTILITIES AT THE SITE. MINIMUM CLEARANCE DIMENSIONS SHALL BE HELD AND SHALL BE AS REQUIRED BY THE LOCAL REGULATORY AGENCY. IN GENERAL, HOLD A DISTANCE OF 10 FEET FROM OVERHEAD ELECTRIC LINES TO BUILDING EDGE U.N.O.	
SPECIAL REQUIREMENTS	
1. CONTRACTORS SHOULD BE AWARE; ANY CHANGES TO THESE PLANS, REGARDLESS HOW MINOR, WITHOUT THE WRITTEN APPROVAL OF ARCHITECTURAL SOLUTIONS, LLC. OR ANY CONSTRUCTION EXECUTED FROM THESE PLANS WITHOUT THE EXPRESS APPROVAL OF ARCHITECTURAL SOLUTIONS, LLC. OR ANY CHANGES IN THE SCOPE, DESIGN, OR INTENT FOR ANY REASON, BY ANY PERSONS OTHER THAN ARCHITECTURAL SOLUTIONS, LLC. SHALL AUTOMATICALLY RENDER ARCHITECTURAL SOLUTIONS, LLC. HARMLESS TO ANY LIABILITY CLAIMS, SUITS, OR LITIGATION BY ANY INTERESTED PARTIES IN THE PROJECT. IF BOUND SPECIFICATIONS ACCOMPANY THESE PLANS, THEY SHOULD BE READ CAREFULLY FOR ADDITIONAL CONDITIONS.	
TEMPORARY FACILITIES	
1. TEMPORARY UTILITY SERVICES: OWNER WILL ARRANGE AND PAY FOR TEMPORARY UTILITY SERVICES. 2. HVAC: CONTRACTOR WILL MAINTAIN AIR TEMPERATURE AND VENTILATION IN CONSTRUCTION AREA TO PROTECT MATERIAL FROM DAMAGE. 3. SANITARY FACILITIES: ARRANGE FOR USE OF TEMPORARY PORTABLE FACILITIES AND ENCLOSURES AS REQUIRED. 4. G.C. IS RESPONSIBLE TO IMPLEMENT AND MAINTAIN JOB SITE SAFETY AS PER OSHA REQUIREMENTS	
RESPONSIBILITIES OF ALL CONTRACTORS	
1. PAY LEGALLY REQUIRED SALES AND CONSUMER TAXES. 2. SECURE AND PAY FOR ALL PERMITS, FEES AND LICENSES AS REQUIRED FOR THE EXECUTION OF THE WORK. 3. COMPLY WITH CODES, ORDINANCES, AND OTHER LEGAL REQUIREMENTS OF PUBLIC AUTHORITIES HAVING JURISDICTION OVER THE WORK. 4. INFORM ARCHITECTURAL SOLUTIONS, LLC. PROMPTLY OF OBSERVED VARIANCES FROM LEGAL REQUIREMENTS. 5. CONTRACTOR TO INFORM ARCHITECTURAL SOLUTIONS, LLC. WITHIN 24HRS OF ANY DISCREPANCY AND DO NOT CONTINUE WITH WORK THAT IS AFFECTED. WILL BE AT CONTRACTOR RESPONSIBILITY AND SOLE EXPENSES OF ANY REPAIRS THAT THIS CAN CAUSE. ARCHITECT AND E.O.R. TO RESPONDED WITHIN A TIMELY MANNER, UNLESS ADDITIONAL INFORMATION IS REQUIRED.	
SUBSTITUTIONS	
1. REQUEST FOR SUBSTITUTIONS OF PRODUCTS SHALL BE SUBMITTED TO ARCHITECT AND/OR E.O.R. IN WRITING. SUBMITTAL SHALL INCLUDE BUT NOT LIMITED TO: LOCATION, MANUFACTURER, SPECS, COST AND AVAILABILITY. C. ARCHITECT AND E.O.R. WILL RESPOND, UNLESS ADDITIONAL INFORMATION IS REQUIRED.	
CONSTRUCTION CLEANING	
1. PROVIDE COVERED CONTAINERS FOR THE DEPOSIT OF WASTE MATERIALS. LOCATE EXTERIOR CONTAINERS AS DIRECTED BY OWNER. 2. USE ONLY CLEANING MATERIALS WHICH WILL NOT CREATE HAZARD TO HEALTH OR PROPERTY. 3. USE ONLY CLEANING MATERIAL RECOMMENDED BY MANUFACTURER OF INSTALLED PRODUCTS. 4. MAINTAIN PREMISES DAILY IN A CLEAN AND ORDERLY CONDITION. REMOVE WASTE MATERIAL FROM SITE PERIODICALLY AND DISPOSE OF AT A LEGAL DISPOSAL SITE. CLEAN INTERIOR SPACE PRIOR TO START OF PAINTING OPERATION. 5. FINAL CLEANING: EMPLOY SPECIAL WORKERS FOR FINAL CLEANING. CLEAN ALL SITE- EXPOSED SURFACES. POLISH ALL GLAZING AND GLOSSY SURFACES. REPLACE HVAC DISPOSAL FILTERS IF THEY WERE IN OPERATION DURING CONSTRUCTION. 6. G.C. IS RESPONSIBLE TO IMPLEMENT AND MAINTAIN JOB SAFETY AS PER OSHA REQUIREMENTS.	

SCOPE OF WORK	
INTERNAL REMODELING OF EXISTING KITCHEN	
MAIN OBJECTIVE: UPDATE KITCHEN APPEARANCE AND FUNCTIONALITY, WORK LIMITED TO:	
A. REPLACEMENT OF EXISTING BASE AND UPPER CABINETS.	
B. INSTALLATION OF NEW FINISHES (WALL FINISHES, COUNTERTOPS, CABINETRY HARDWARE, LIGHTING).	
C. NO STRUCTURAL MODIFICATIONS (NO CHANGES TO LOAD-BEARING WALLS, DOORS AND WINDOWS, ROOF, FOUNDATIONS, OR FLOOR FRAMING).	
LEGAL ADDRESS	
7225 SW 130 STREET, PINECREST, FL 33156	
FOLIO	
20-5014-024-0190	
LEGAL DESCRIPTION	
LOT 9, BLOCK 2, OF PARIS ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 68, PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.	
ZONING CLASSIFICATION	
FLOOD ZONE INFORMATION:	
BASE ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY REVISED ON 10/14/2025 AND INDEX MAP REVISED ON 09/11/2009 THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN: ZONE: "AH" BASE FLOOD ELEV: 10 COMMUNITY NAME AND NUMBER: VILLAGE OF PINECREST 120425 PANEL NUMBER: 12086C0468 SUFFIX: L MAP NUMBER: 12086C0468	
ZONING CONDITIONS	
MUNI ZONE:	EU-M. SINGLE-FAMILY ESTATE MODIFIED USE ZONING DISTRICT
PA ZONE:	2100 - ESTATES - 15000 SQFT LOT
AREAS	
NET LOT AREA:	17.293 SQFT
LOT COVERAGE	
LOT COVERAGE HOUSE	
EXISTING LIVING AREA	3.943 SQ. FT.
REMODELING KITCHEN AREA	242.53 SQ.FT
BUILDING STATISTICS	
STORIES:	TWO (2) STORIES
BUILDING HEIGHT:	15' 9" FT
LAND AREA:	17,293 SQ.FT
MUNICIPALITY:	VILLAGE OF PINECREST 120425
FEMA FLOOD ZONE:	10 FT
BFE:	10.10FT
TYPE OF CONSTRUCTION:	TYPE V
APPLICABLE CODE	
2023 FLORIDA BUILDING CODE- 8TH EDITION. 2023 FLORIDA RESIDENTIAL CODE- 8TH EDITION. 2023 FLORIDA MECHANICAL CODE- 8TH EDITION. 2023 FLORIDA PLUMBING CODE- 8TH EDITION. NFPA-20 2020 NATIONAL ELECTRIC CODE.	

ENGINEERING BUSINESS REGISTRY		
		
ARCHITECTURAL SOLUTIONS LLC		
7500 NW 25TH ST. DORAL, FL 33122		
LICENSE NUMBER: 39137		
(305) 878-3288 www.archisolut.com		
PROJECT:	REMODELING PROJECT	7225 SW 130 ST, PINECREST, FL 33156
ADDRESS:		
ELECTRONIC SIGNED:		
GUTBERTO SUAREZ P.E Phone: (786) 286-3915		
DATE:	12/08/2025	
DRAWN:	K.B	
CHECKED:	C.B.	
 #	Nº	DATE
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A-100		



SUBJECT OF THIS PROJECT		
INTERNAL REMODELING OF EXISTING KITCHEN		
MAIN OBJECTIVE: UPDATE KITCHEN APPEARANCE AND FUNCTIONALITY, WORK LIMITED TO:		
A. REPLACEMENT OF EXISTING BASE AND UPPER CABINETS.		
B. INSTALLATION OF NEW FINISHES (WALL FINISHES, COUNTERTOPS, CABINETRY HARDWARE, LIGHTING).		
C. NO STRUCTURAL MODIFICATIONS (NO CHANGES TO LOAD-BEARING WALLS,DOORS AND WINDOWS, ROOF, FOUNDATIONS, OR FLOOR FRAMING).		
SCOPE OF WORK DEMOLITION AND REMOVAL		
01	REMOVAL OF ALL FURNITURE IN THE KITCHEN AREA, NO WALLS ARE SCHEDULED FOR DEMOLITION. PLUMBING AND ELECTRICAL FEATURES WILL REMAIN UNCHANGED.	SPECIAL NOTES
(1)	REMOVAL OF EXISTING BASE CABINET AND COUNTERTOP. NO WALL IS COMMITTED TO DEMOLITION.	
(2)	REMOVAL OF EXISTING ISLAN BASE CABINET AND COUNTERTOP.	
(3)	REMOVAL OF EXISTING WALL , BASE CABINETS COUNTER TOP, STOVE AND KITCHEN EXHAUST HOOD.	
WALL & FENCE LEGEND		
	INDICATE EXISTING CMU WALL.	
GENERAL NOTES		
1. VERIFY FIELD CONDITIONS PRIOR TO START DEMOLITION/ CONSTRUCTION AND NOTIFY THE ENGINEER ANY DISCREPANCIES.		
2. CONFORM TO ALL BUILDING CODES AND EXECUTE WORK ONLY WHICH IS IN CONFORMANCE.		
3. PROTECT ALL EXISTING PORTIONS OF THE EXISTING BUILDING TO REMAIN DURING DEMOLITION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY OR ALL DAMAGES CAUSED BY HIMSELF OR ANY SUBCONTRACTOR.		
4. KEEP CLEAN ALL EXISTING SPACES AND PROPERTIES ADJACENT TO DEMOLITION CONSTRUCTION AREAS. ANY DEBRIS SHALL BE REMOVED FROM WORK AREAS DAILY. IF REQUIRED CLOSE OFF EXISTING SUPPLY/ RETURN PIPES FEEDING EXISTING ROOMS TO PREVENT DUST/ DEBRIS ENTRY.		
5. ANY AND ALL ASBESTOS AND/OR LEAD PAINT DISCOVERED DURING DEMOLITION OR CONSTRUCTION MUST BE REPORTED TO ARCHITECT AND OWNER IMMEDIATELY.		
6. CONTRACTOR TO REMOVE, STORE AND PROTECT EXISTING NON-ATTACHED, MOVEABLE CABINETS AND FURNITURE. COORDINATE WITH OWNER FOR RELOCATION OR RE-USE.		
7. EXTERIOR WOOD FRAMED WALLS MUST TO DEMOLISHED AFTER INSTALLATION OF SHORING SYSTEM TO PROVIDE TEMPORARY SUPPORT OF EXISTING ROOF STRUCTURE.		
8. TO PROVIDE DUST BARRIERS TO PROTECT OCCUPIED AREAS OF BUILDING DURING DEMOLITION.		
9. COORDINATE DEMOLITION IN AREAS THAT ARE TO REMAIN DURING CONSTRUCTION, PROVIDE FREE AND SAFE ACCESS FOR OWNER TO AND FROM OCCUPIED AREAS OF THE BUILDING AT ALL TIMES.		
10. REMOVE ALL DEBRIS AND RUBBISH AND OTHER MATERIAL RESULTING FROM DEMOLITION OPERATIONS FROM THE BUILDING SITE. DO NOT ALLOW MATERIAL AND DEBRIS TO ACCUMULATE ON SITE. COORDINATE LOCATION OF DUMPSTER WITH OWNER PRIOR TO ITS DELIVERY		
11. G.C. TO FIELD VERIFY WALL TO BE DEMOLISH ARE NON-BEARING WALL PRIOR TO COMMENCE ANY WORK. OTHERWISE CONTACT E.OR. IMMEDIATELY.		
12. G.C. TO INSTALL PROPER SHORING PRIOR TO COMMENCE ANY WORK.		
13. EVERY CONTRACTOR SHALL COORDINATE IN FIELD W/ OTHER TRADES PRIOR TO START OF CONSTRUCTION FOR THE ARCHITECTURAL DETAILING AS FORMS, CEILINGS, WITH THE LOCATION OF CEILING OR WALL GRILLES, DUCT WORKS, RETURN GRILLES, LIGHTING FIXTURE, SWITCHES, RECEPACLES OR ANY OTHER DEVICES, AND TO NOTIFY ARCHITECT/ENGINEER IF ANY CONFLICT OCCUR PRIOR ITS INSTALLATION, NO ADDITIONAL COST TO OWNER CAN BE APPLIED.		



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B. INSTALLATION OF NEW FINISHES (WALL FINISHES, COUNTERTOPS, CABINETRY HARDWARE, LIGHTING).

C. NO STRUCTURAL MODIFICATIONS ARE PART OF THIS PROJECT (NO CHANGES TO LOAD-BEARING WALLS, DOORS, WINDOWS, ROOF, FOUNDATIONS, OR FLOOR FRAMING).

- FLOOR PLAN NOTES** (REV. 1/2024)
- ALL CONSTRUCTION TO MEET FBC 2023 8th EDITION
 - CONTRACTOR TO VERIFY ALL DIMENSIONS & OPENINGS OF WINDOWS AND DOORS PRIOR TO COMMENCEMENT OF WORK
 - ALL DIMENSIONS ARE TO THE EDGE OF STUDS, OR EDGE OF CONCRETE BLOCK U.N.O.
 - GARAGE FLOOR SURFACES SHALL BE OF APPROVED NON-COMBUSTIBLE MATERIAL PER FBC 309.1
 - ALL CEILING HEIGHTS NOTED ARE A.F.F. (ABOVE FINISHED FLOOR) MIN. CEILING HEIGHT SHALL NOT BE LESS THAN 7 FEET
 - TOILET & VANITY SHOULD HAVE A MIN 21" CLEARANCE FROM PARALLEL WALL, 15" FROM ADJACENT WALL O.C.
 - BATH TUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE THAT SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6" A.F.F.
 - EACH EXTERIOR DOOR SHOULD HAVE A LANDING WIDTH NO LESS THAN THE DOOR SERVED, 36" MIN IN DIRECTION OF TRAVEL WITH A SLOPE OF NO LESS THAN 1/4" PER FOOT
 - PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FBC R308.3.1
 - PROVIDE SAFETY GLAZING AT BATH/SHOWER PER FBC 308.3.1
 - ALL WINDOWS INSTALLED 72" ABOVE GRADE MUST COMPLY WITH FBC 612.2 MIN 24" SILL HEIGHT OR PROVIDED WITH WINDOW FALL PREVENTION DEVICE
 - CONTRACTOR/MASON TO CONFIRM ALL MASONRY OPENINGS PRIOR TO CONSTRUCTION
 - PROVIDE ALL BLOCKING FOR TUBS, SHOWERS, AND BATH, LAUNDRY, KITCHEN, CABINETS AS,PAPER TOWEL HOLDERS,RAILINGS,TV'S,ANY OTHER DEVICE BY BUILDER
 - WIND DESIGN PRESSURES PER ASCE7-22 USE AN ENTIRELY NEW SYSTEM WHICH CAN NOT BE COMPARED TO OLDER CODES. ALL PRODUCTS SHOULD HAVE DOCUMENTATION UPDATED TO ASCE7-22 METHODS
 - FOR ALL STRUCTURES IN FLOOD ZONES: COMPLY WITH THE LAND DEVELOPMENT CODE ART III(COASTAL CONSTRUCTION CODE ART. IV (FLOOD HAZARD REDUCTION, AND SEA TURTLES AND ANY DEVELOPMENT SPECIFIC IN WATER MANAGEMENT REQUIREMENTS
 - G.C./SUBSUPPLIER IS RESPONSIBLE FOR PROVIDING MANUFACTURERS' SPECIFICATIONS AND INSTALLATION DETAILS(N.O.A) FOR ALL WINDOWS, DOORS, (INCLUDING OVERHEAD DOORS), ROOF MATERIALS, ROOF VENTS, EXHAUST FANS, SOFFIT AND SIDING MATERIALS
 - PROVIDE 3 STUDS(MIN.) AT ALL DOOR & WINDOW FRAMES NEAR INSIDE CORNERS
 - BLOCK ALL WALLS AT 6" ABV FLOOR
 - TRIM AND/OR ADJUST TRUSSES TO PROVIDE LEVEL AND STRAIGHT CEILINGS, AND CEILING SIGHT-LINES, ESPECIALLY IN DOUBLE TRAY AND COFFERED CEILINGS
 - ALL WINDOWS ARE DIMENSIONED TO CENTERLINE
 - ALL DOORS SHALL BE 4" FROM ADJ WALL U.N.O
 - ALL WINDOW & DOOR OPENINGS ARE NOMINAL U.N.O
 - WINDOWS LABELED AS "EGRESS" SHALL MEET FBC-R310 REQUIREMENTS
 - ALL NEW CONSTRUCTION SHALL BE REQUIRED TO PASS THE BLOWER DOOR TEST PER 2023 ENERGY CONSERVATION CODE R402.4
 - R302.6 IF WATER BASED CEILING TEXTURE MATERIALS IS USED, PROVIDE 1/2" GYPSUM BOARD FOR 16" O.C. FRAMING, OR 5/8" GYPSUM BOARD FOR 24" O.C. FRAMING. SAG-RESISTANCE GYPSUM BOARD MAY BE USED I.L.O. 5/8" GYPSUM BOARD
 - R302.5.1 DOOR FROM GARAGE INTO HOUSE MUST BE A MINIMUM 1 3/8" SOLID WOOD DOOR, OR HONEYCOMB CORE STEEL DOOR, OR 20 MIN FIRE RATED DOOR
 - ENCLOSED SPACE UNDER STAIR SHALL THAT IS ACCESSED SHALL HAVE WALLS, UNDER-STAIRS SURFACE AND ANY SOFFIT PROTECTED ON THE ENCLOSED SIDE WITH MINIMUM 1/2" GYPSUM BOARD
 - R302.6 THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AS REQUIRED BY TABLE R302.6 BY NON LESS THAN 1/2" (12.7MM) GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGE BENEATH ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NON LESS THAN 5/8" (15.9 MM) TYPE "X" GYPSUM BOARD OR EQUIVALENT, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
 - WINDOW SILLS IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH R312.2.1
 - ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES (E.G. ATTICS AND CRAWL SPACES) SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES
 - PORCH CEILING:
 - 31.1. OPTION 1 GYPSUM 1/2" EXTERIOR GYPSUM SOFFIT BOARD SHALL BE ATTACHED TO ALL FRAMING MEMBERS WITH 2X BLOCKING PROVIDED AT PERIMETER W/ TYPE "W" 1 1/4" DRYWALL SCREWS AT 6" O.C. IN FIELD AND EDGED.
 - 31.2. OPTION 2 PLASTER BASE: 7/16" MIN OSB ON UNDERSIDE OF ROOF TRUSSES SHALL BE ATTACHED TO ALL FRAMING MEMBERS WITH 2X BLOCKING PROVIDED AT PERIMETER. THE OSB SHALL BE ATTACHED W/ 8d NAILS AT 4" O.C. FIELD AND EDGES.

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|--|--|
| BUILT-INS & FINISHES (REV. 1/2024) | EGRESS NOTES (REV. 1/2024) |
| <ol style="list-style-type: none">SUBMIT ALL SHP DRAWINGS BY OTHERSALL PANTRY CLOSETS AND LINEN CLOSETS TO HAVE SHELVES AS SELECTED BY OWNEROWNER TO SELECT ALL COLORS AND FINISHES U.N.O ON THESE DRAWINGS. | <p>EGRESS WINDOWS MUST HAVE 5.7 SQUARE FEET OF NET CLEAR OPENING. NOT ALL 3050 WINDOWS WILL MEET THIS REQUIREMENT. WINDOWS CAN BE ENLARGED TO 3054. NEED EOR APPROVAL PRIOR TO CHANGE.</p> |

SUBJECT OF THIS PROJECT			
	1-#5 - REBAR OR AS INDICATED		GAS STUB
	1-#5 - REBAR OR AS INDICATED TO STEM WALL ELEV. ONLY		HTTS SIMPS
	A-307 ANCHOR BOLT @ 32" O.C. OR AS INDICATED		TYPICAL OPNG W/ PRECAST LINTEL ABOVE
	HOSE BIB		

GENERAL NOTES (REV. 1/2024)

DO NOT SCALE DRAWINGS FOLLOW THE MEASUREMENTS ONLY AS SHOWN ON THE DRAWINGS. IF THERE ARE ANY DISCREPANCIES IN THE MEASUREMENTS OR ON THE DRAWINGS IN ANY FORM WHAT-SO-EVER THEY SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER A/D/OR ARCHITECT AS SOON AS POSSIBLE.

INTERIOR FINISHES SHALL COMPLY WITH NFPA 10 CHAPTER 40.3.3

INTERIOR WALL AND CEILINGS FINISHES SHALL COMPLY WITH 10.2.3

LEGEND:

---	1 HOUR RATE	---	2 HOUR RATE
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THRESHOLD AT EGRESS DOOR 1.5" MAX. ABOVE INTERIOR FINISH FL. R311.3.1.

THE MATERIALS USED AS BACKERS FOR WALL TILE ON TUB AND SHOWER AREAS AND WALL PANELS WOULD BE OF MATERIALS LISTED IN TABLE R702.4.2. INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION, TO COMPLY WITH THE 2020 FBCB SECTION 702.4.2, BACKER BOARDS.

WALL LEGEND	NOTES
EXISTING WALL 8" CONC. MASONRY UNITS	NOTES



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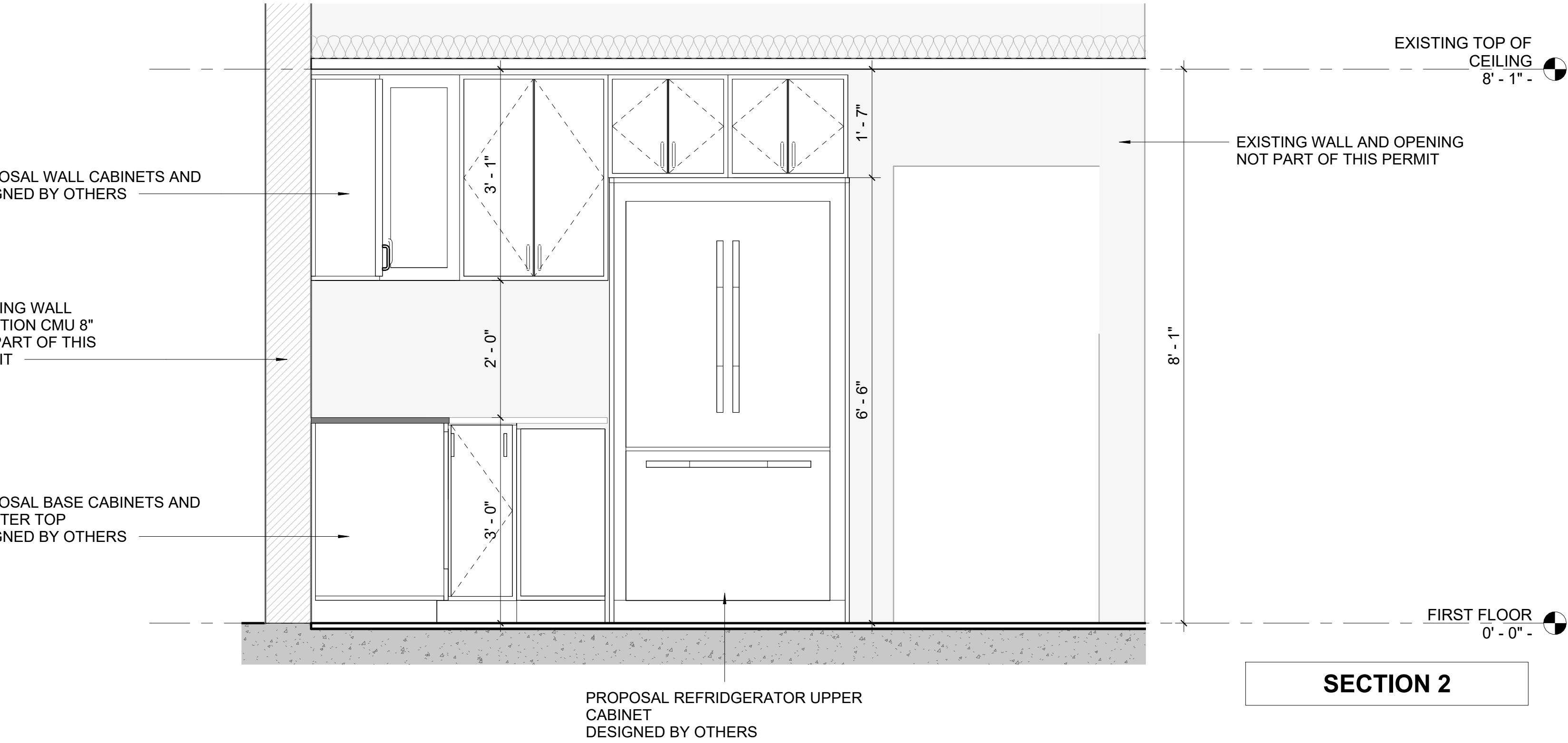
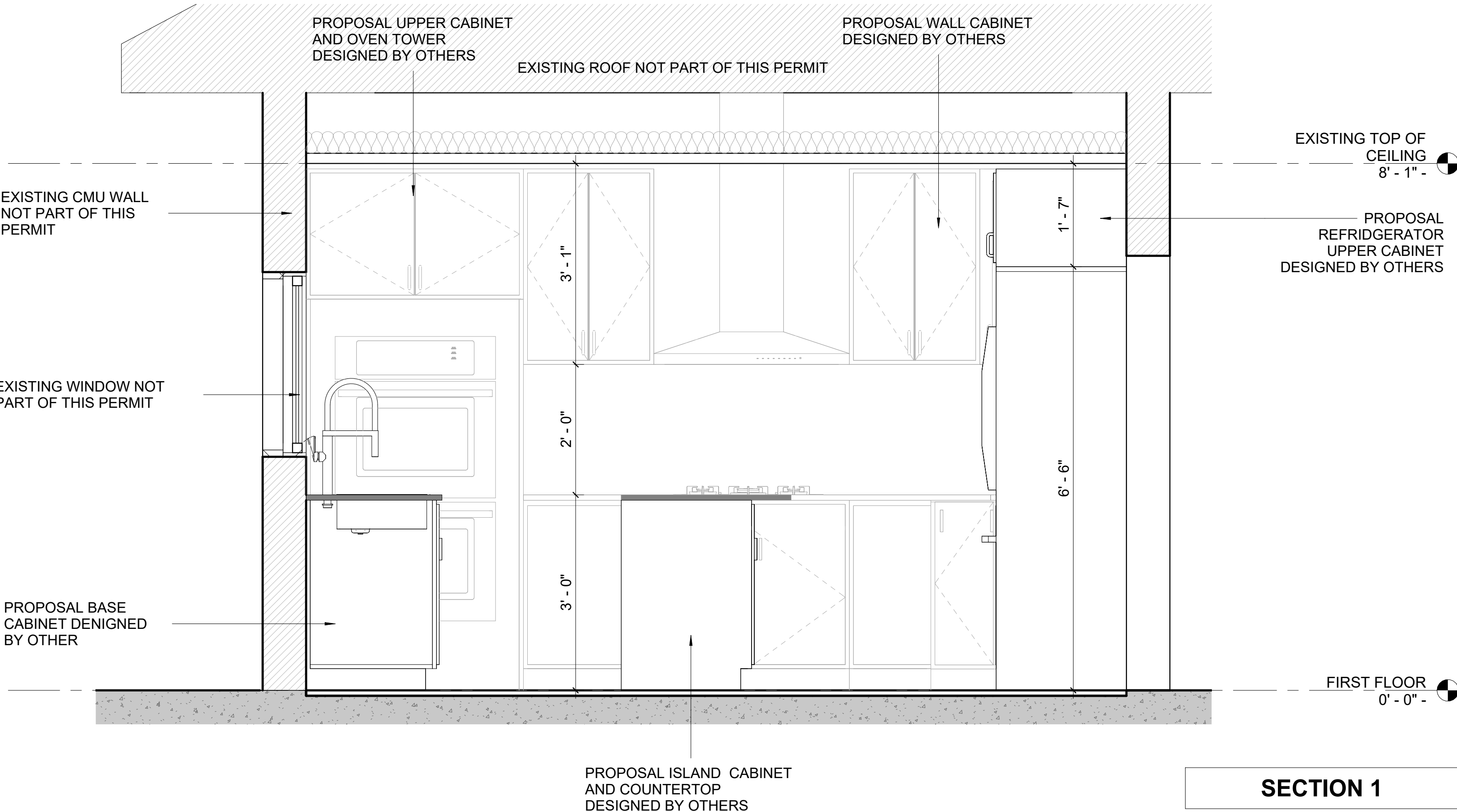
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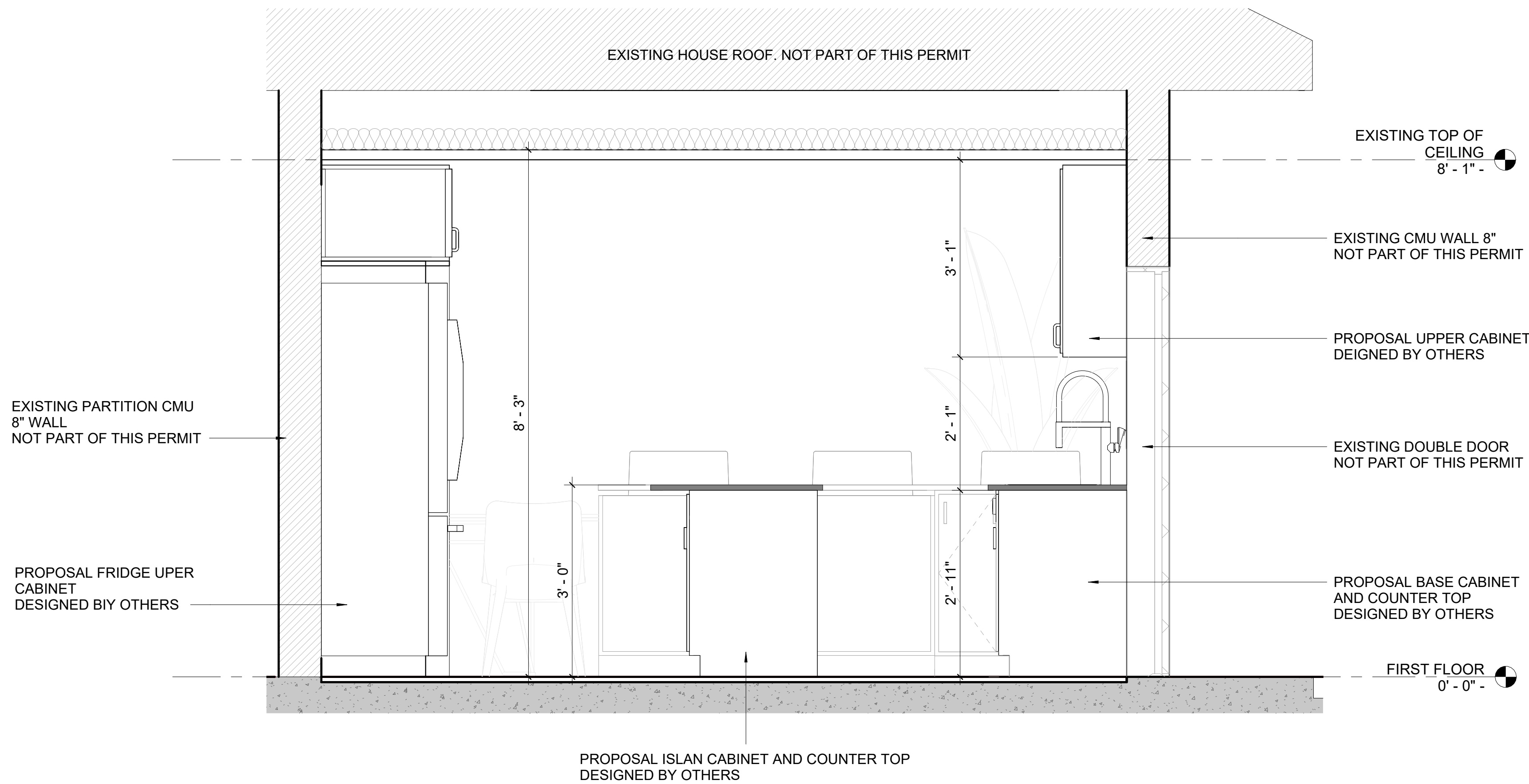
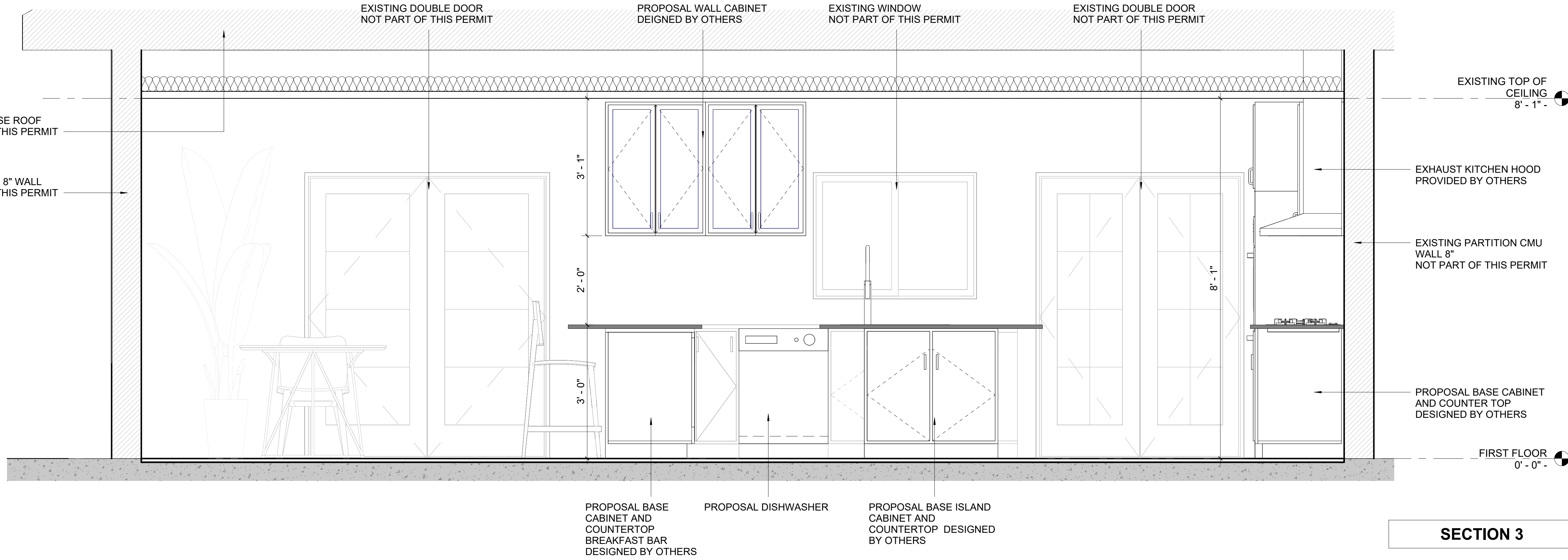
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INTERIOR SECTION PLANS

SCALE: 3/4" = 1'-0"

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A-401