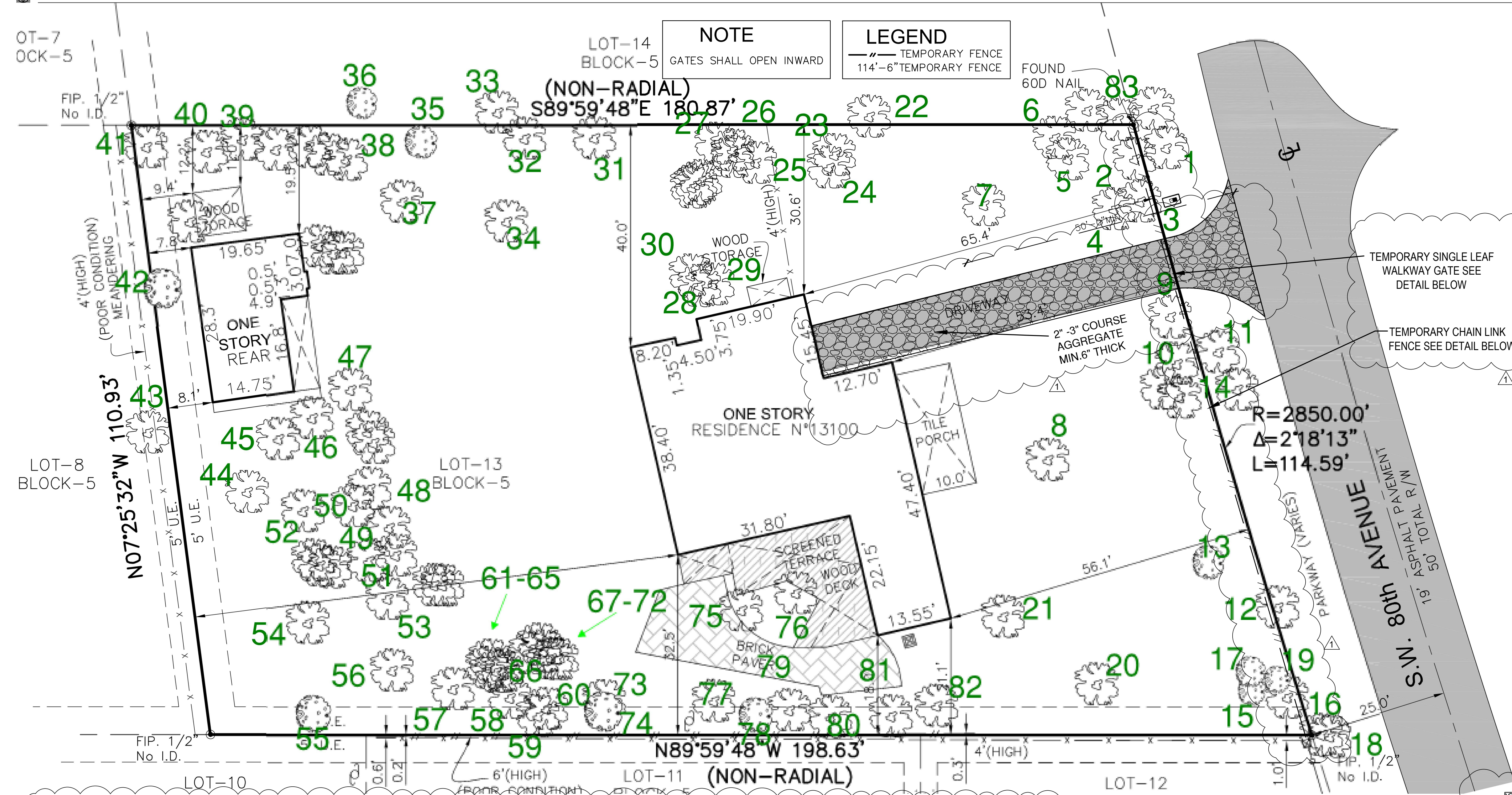
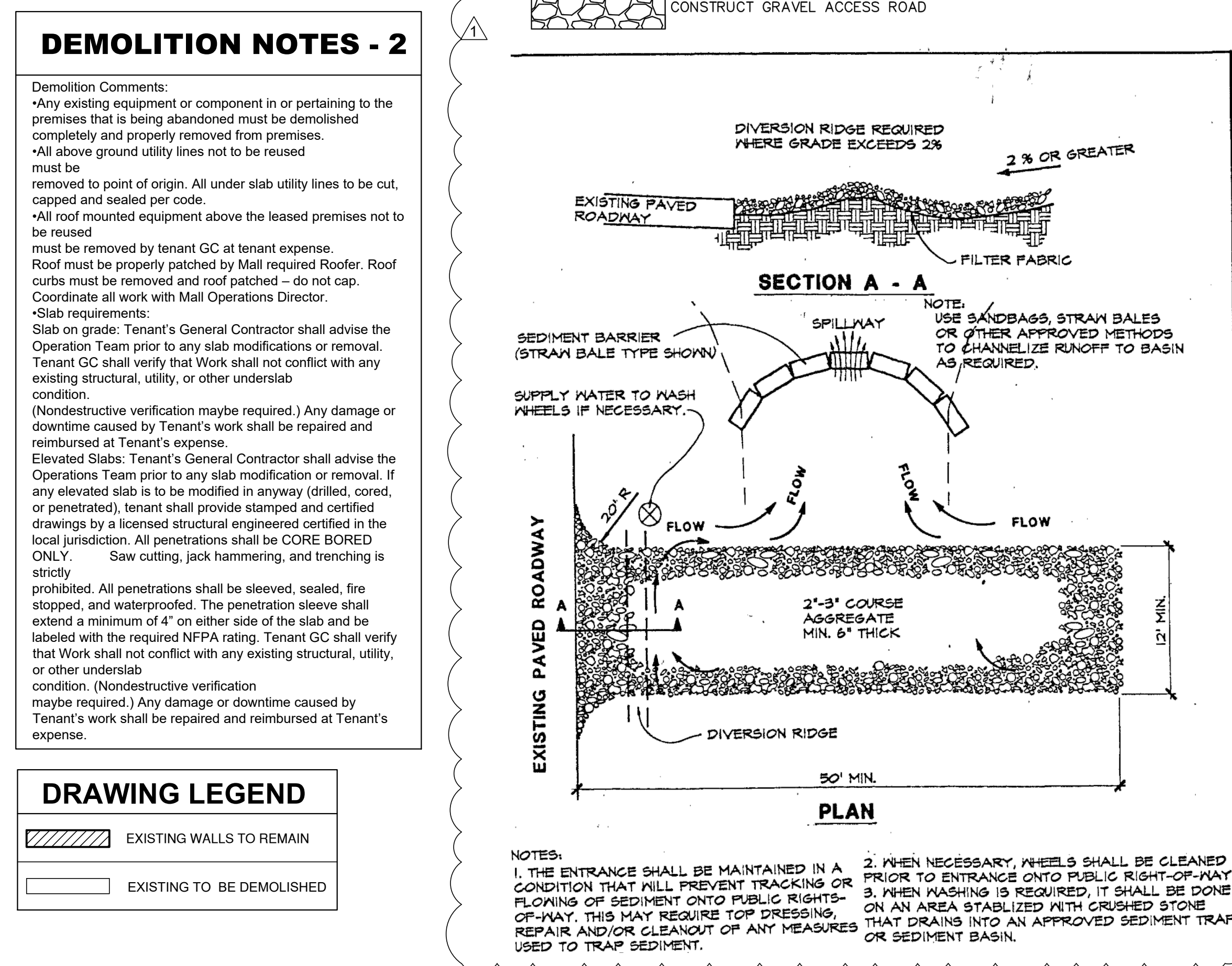
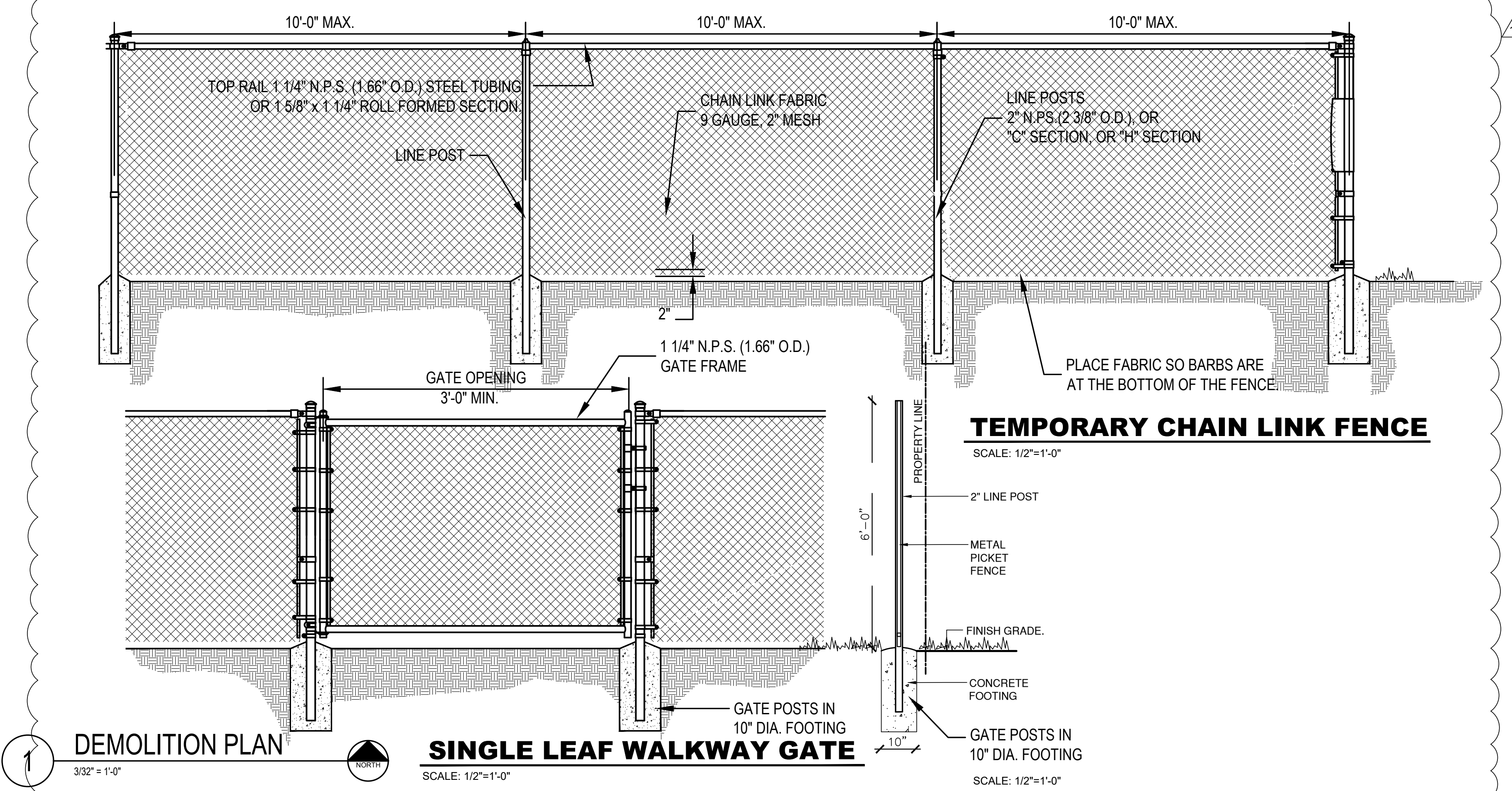




- ### GENERAL DEMOLITION NOTES -1

 1. THE GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE TO CARRY OUT THIS DEMOLITION PROJECT IN FULL COMPLIANCE WITH THE "FLORIDA EXISTING BUILDING CODE (F.E.B.C.) 2010 IN ALL ASPECTS.
 2. G.C. IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
 3. G.C. IS RESPONSIBLE FOR THE STORAGE AND DISPOSAL OF DEBRIS CAUSED BY ANY DEMOLITION REQUIRED BY THIS JOB.
 4. G.C. IS RESPONSIBLE FOR PROVIDING BARRICADES TO STOP ANY PEDESTRIAN TRAFFIC AT THE AREA OF CONSTRUCTION.
 5. IN THE EVENT THAT ANY DISCREPANCIES ARE FOUND DURING THE DEMOLITION STAGE, THE G.C. IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
 6. ALL ELECTRICAL OUTLETS, FIXTURES, EQUIPMENT, ETC. BEING REMOVED SHALL HAVE ALL WIRES PULLED BACK ALL THE WAY TO THE POINT OF ORIGIN.
 7. ALL ABANDONED PLUMBING PIPES BELOW SLAB AND INSIDE WALLS SHALL BE CAPPED OFF.
 8. G.C. SHALL KEEP THE JOB SITE CLEAN AND CLEAR OF ANY DEBRIS THAT MAY OCCUR DUE TO THE SCOPE OF WORK.
 9. G.C. IS RESPONSIBLE FOR PATCHING UP ANY AREAS DAMAGED DUE TO THE DEMOLITION OR CONSTRUCTION OF THIS PROJECT.
 10. G.C. IS RESPONSIBLE FOR PROVIDING AN ASBESTOS REPORT PRIOR TO THE REMOVAL OF ANY MATERIALS.
 11. G.C. SHALL DISCONNECT ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK.
 12. TGC TO ENSURE ALL WORK CONFORMS TO THE MALL RULES AND REGULATIONS FOR TENANT CONSTRUCTION.
 13. TGC TO COORDINATE EXTERIOR OPENINGS / REPAIRS AND FINISHING WITH MALL OPERATIONS. MALL SPECIFIED VENDORS MAY BE REQUIRED.
 14. NO EXPOSED SECURITY DEVICES PERMITTED
 15. TGC TO COORDINATE ALL SAW CUTS AND TRENCHING WITH MALL IN ADVANCE.
- ### KEY NOTES FOR DEMOLITION PLAN

 1. EXISTING EXTERIOR DOOR / WINDOW TO REMOVE REFILL OPENING TO MATCH EXISTING CONSTRUCTION SEE STRUCTURAL DWGS. SEE STRUCTURAL DWGS SHEET S-04
 2. REMOVE ALL EXISTING FLOORING AND WALL BASE THROUGHOUT THE SCOPE OF WORK. PREPARE SLAB TO RECEIVE NEW FINISH AS SCHEDULED.
 3. EXISTING CEILING AND ALL LIGHTING FIXTURES TO BE REMOVE.
 4. EXISTING PARTITION WALL, INTERIOR STORE FRONT SYSTEM DOORS TO REMOVE
 5. REMOVE EXISTING PLUMBING FIXTURES. CAP AND SEAL UNUSED PIPES. REFER TO PLUMBING DRAWINGS.
 6. REMOVE EXISTING VAULT.
 7. NEW WALL OPENING FOR ENTRY DOOR SEE STRUCTURAL PLANS COORDINATE CONSTRUCTION SEQUENCE WITH GC TO KEEP MAIN ENTRANCE AVAILABLE ALL TIME. SEE STRUCTURAL DWGS SHEET S-04
 8. REMOVE EXISTING PNEUMATIC BANK TUBE SYSTEM.
 9. EXISTING ROOF ACCESS TO BE ABANDONED AND SEAL.



DE LA LLAMA

ARCHITECTURE
PLANNING
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PROJECT NAME

**P8
PINECREST
EIGHT**

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

**JUNCO
RESIDENCE**

DATE
DEC 16, 2024

REVISION	DATE	BY
1	REVISION	9-04-25

DRAWING NAME

DEMOLITION PLAN

DESIGN BY:
ZECKY DA COSTA

DRAWN BY:
HUMBERTO LANTIGUA

SHEET NO.

D-1