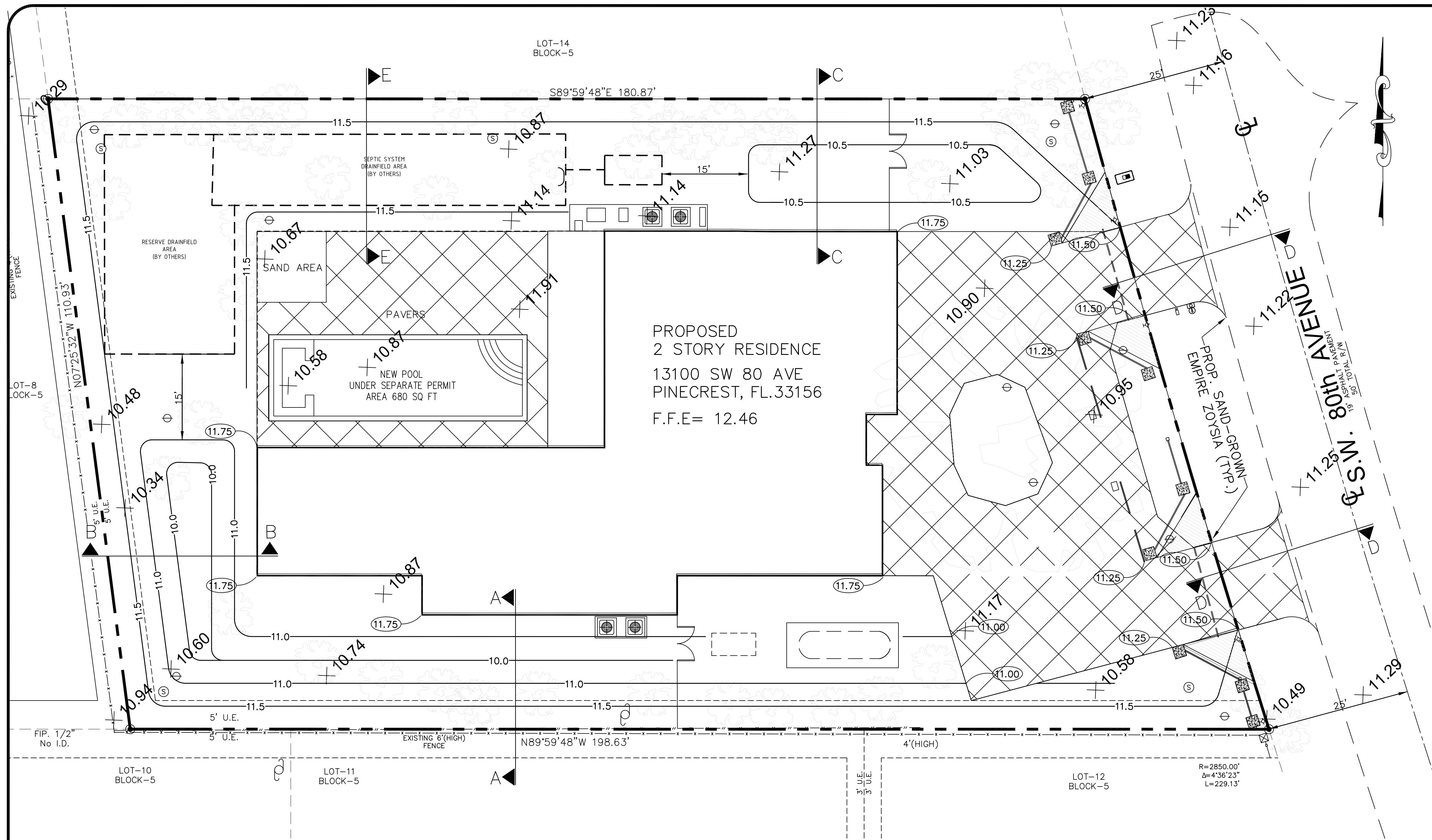




LEGEND

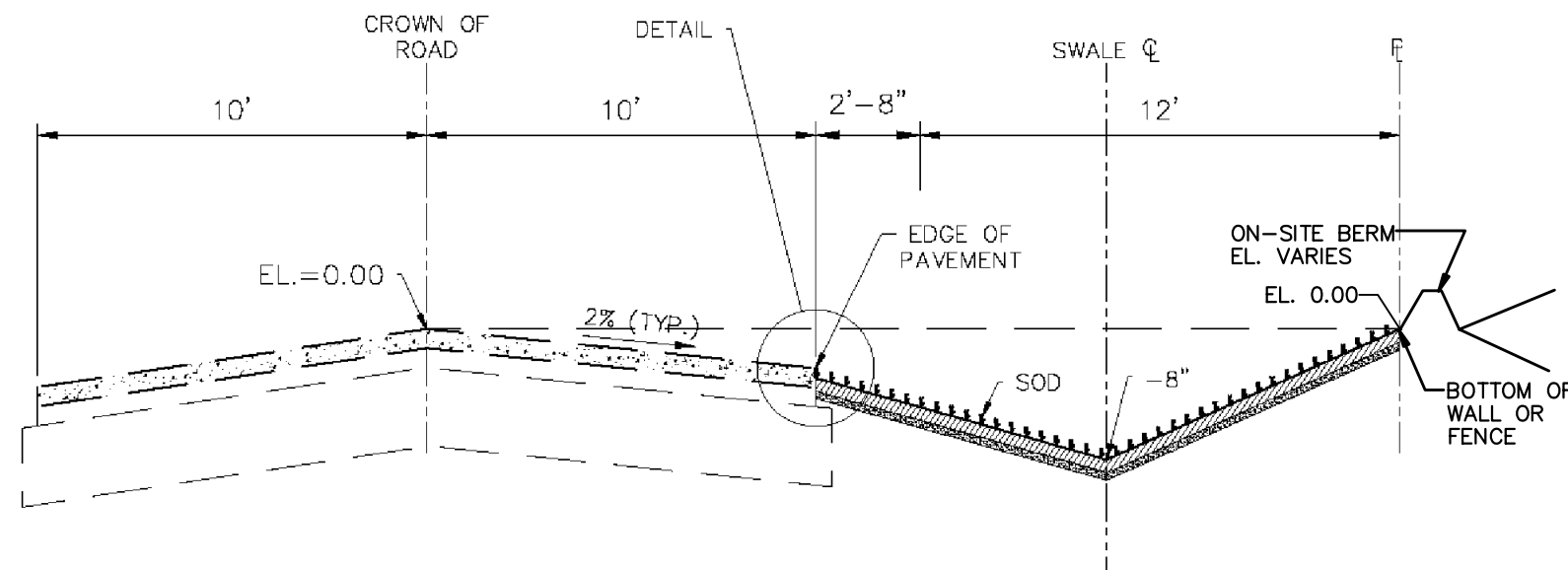
- EXISTING ELEVATIONS
- PROPOSED CONTOUR ELEVATIONS
- PROPOSED GROUND ELEVATIONS

SITE NOTES:

- MINIMUM PERMITTER BERM ELEVATION SHALL BE 12.0 OR 8" HIGHER THAN ADJACENT GRADE (WHICHEVER IS HIGHER)
  - REFER TO LANDSCAPE PLANS FOR EXISTING, NEW AND RELOCATED TREES.
  - MAINTAIN A MAXIMUM OF 4:1 SLOPE ON SWALE AREAS
  - CONTOUR ELEVATIONS ARE ESTIMATED.
- FINAL GRADING SHALL BE COORDINATED WITH LANDSCAPE PLANS.

PUBLIC WORKS CONDITION OF PERMIT

- No fill of ANY KIND can be brought on site or to the ROW outside of the building footprint.
- No runoff generated from the driveway is permitted to discharge directly to the ROW or adjacent properties. The ROW swale is to be graded using the Village PW Standard.
- No trees are to be planted in the ROW before a conditional approval of the rough grading of the swale has been approved by Public Works.
- No shrubs are to be planted in the ROW and any existing shrubs are to be removed.
- No IRRIGATION, LIGHTING, or ELECTRICAL COMPONENTS of any kind may be installed in the ROW.
- All proposed trees in the ROW will be planted a minimum of 7' from the edge of pavement to the face of the tree and will be of a type, kind, and spacing as approved by the Public Works Department. Public Works contact information is: publicworks@pinecrest-fl.gov
- Any decorative d/w in the ROW shall have an 8"W x 12"D, 3,000-psi, fiber mesh concrete header curb located between the asphalt and the proposed d/w. THE EDGE OF THE HEADER CURB WILL BE A MINIMUM OF 10' FROM THE CENTERLINE OR TO THE EDGE OF THESE EXISTING ASPHALT EDGE, WHICHEVER IS GREATER.
- No materials of ANY kind will be stored for any length of time on the public swale.
- Existing sidewalks will be maintained at all times, free of any loose material, and open to pedestrian traffic at all times. No vehicles can park on the sidewalk at any time.
- Any sidewalk crossed by a d/w approach must be replaced with 6" thick sidewalk and extend to the next adjacent whole flag on either side of the new approach. Longitudinal slope cannot exceed 5% and maximum cross slope is 2%. All sidewalk construction that intersects with a crosswalk must be parallel with that cross walk and will have detectable warning surface placed permanently in concrete NO screw-down detectable warning surface is permitted. ALL sidewalk in the ROW will be a MINIMUM OF 10' from the nearest edge of pavement and marked as such in the signed and sealed plans.
- ALL work conducted in the ROW will implement the applicable FDOT Standard Index 600 Series for MOT.
- All sidewalk replacement will be open to traffic within 48 hours of the sidewalk being closed for demo. This includes demolition of existing sidewalk, placing forms, placing and finishing concrete and stripping forms.
- No portion of the public ROW and can be enclosed by the contractor's fence at any time.
- ALL sod in the ROW will be SAND GROWN, 'EMPIRE ZOYSIA'
- All driveway approaches will meet all ADA requirements for obstructions, both vertical and horizontal and for slope, both cross slope and longitudinal.



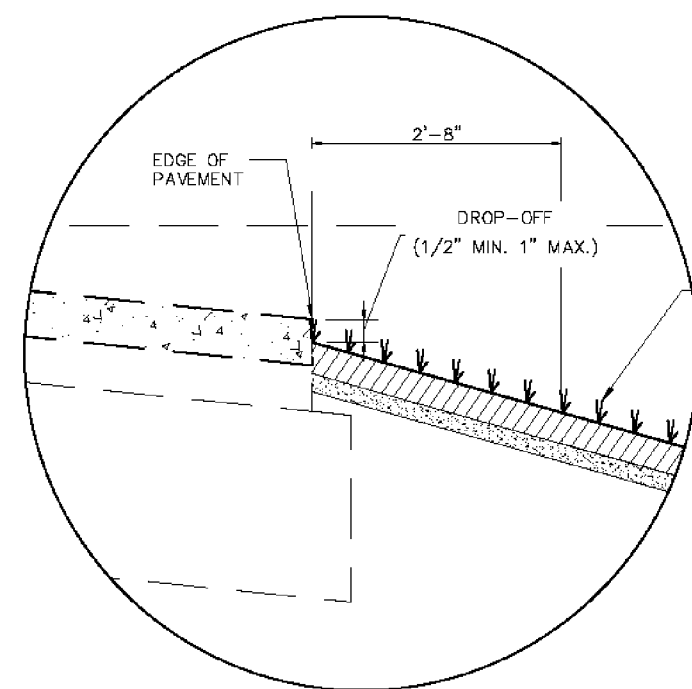
VILLAGE OF PINECREST PUBLIC WORKS  
TYPICAL SWALE DETAIL

EXCAVATION & FILL ORDINANCE of the VoP:

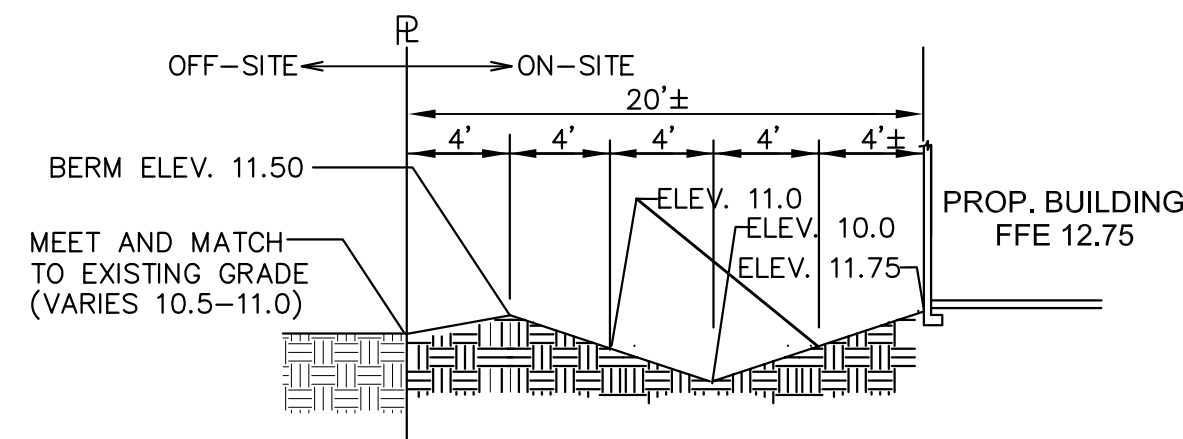
Div. 6.12. - Excavation and fill.

c) Maintenance of natural grade and elevation. Development and construction in the Village of Pinecrest shall be designed and constructed with an elevation and grading that are consistent with the requirements of the Village's Floodplain Management Ordinance, Stormwater Management Plan, and Comprehensive Development Master Plan. The established natural elevation and grade of a property under construction shall be fundamentally preserved and the finished grade and elevation shall be consistent and compatible with the grade and elevation of adjoining properties.

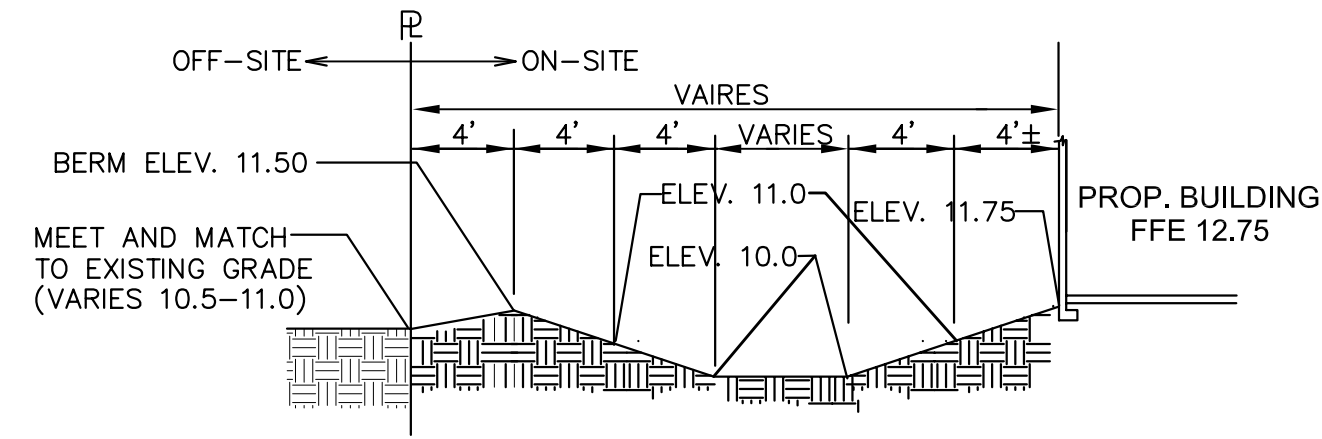
d) Fill water ward of the top of slope of any lake or waterway or alteration of an established shoreline in the VoP shall not be permitted unless approved as a conditional use.



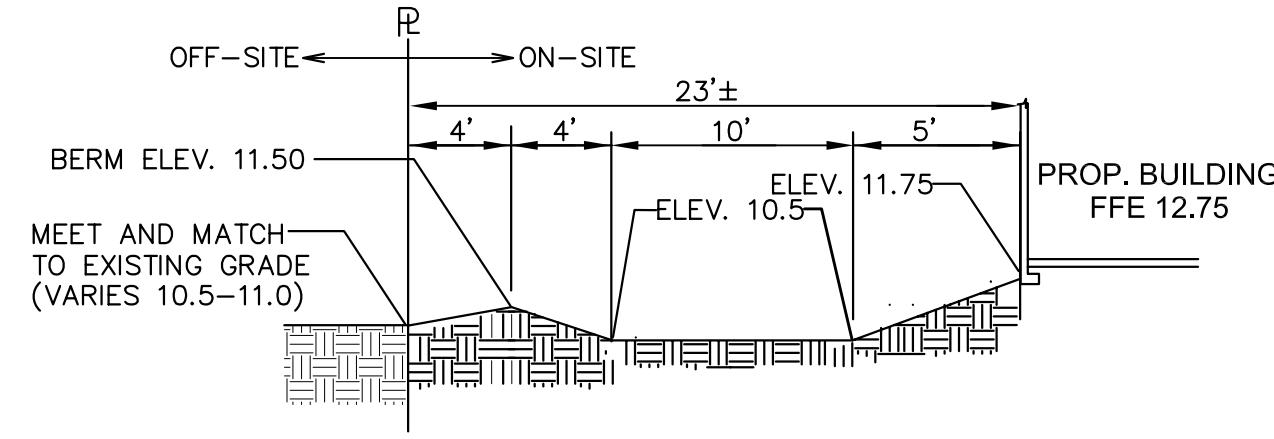
DETAIL



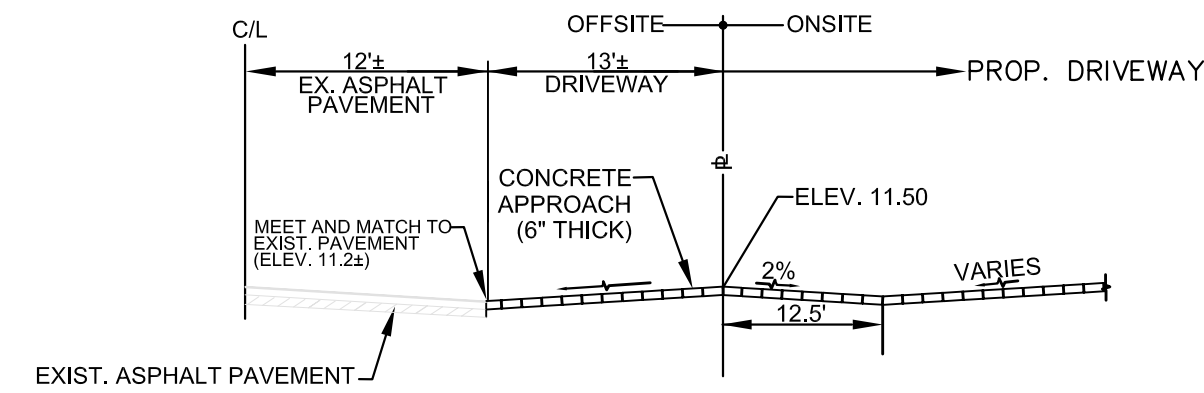
SECTION A-A



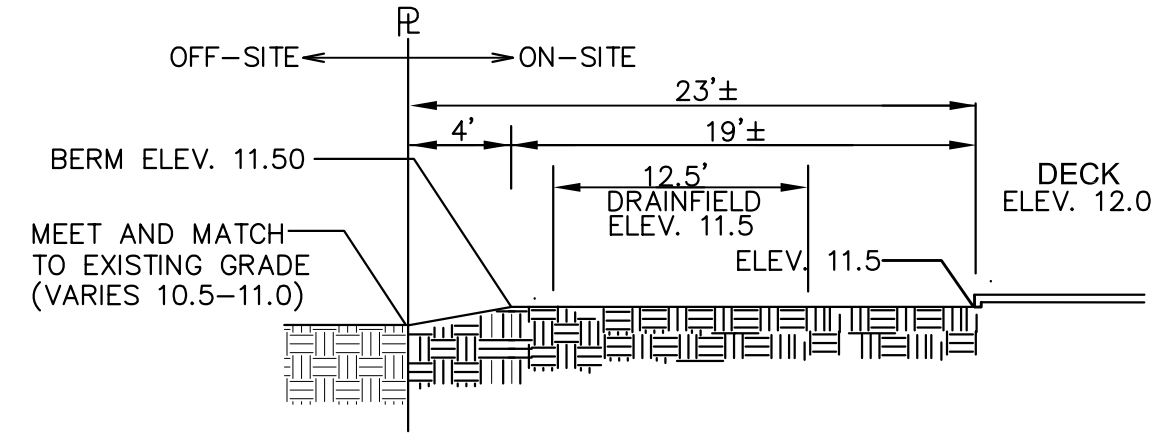
SECTION B-B



SECTION C-C



SECTION D-D



SECTION E-E

| REV. # | DATE       | DESCRIPTION                   |
|--------|------------|-------------------------------|
| 1      | 03-11-2023 | VILLAGE OF PINECREST COMMENTS |
| 2      | 03-11-2023 | VILLAGE OF PINECREST COMMENTS |
| 3      | 03-11-2023 | VILLAGE OF PINECREST COMMENTS |
| 4      | 07-14-2025 | VILLAGE OF PINECREST COMMENTS |
| 5      |            |                               |
| 6      |            |                               |
| 7      |            |                               |
| 8      |            |                               |

JCM CONSULTANTS, INC.

ENGINEERING & LAND PLANNING

8401 S.W. 184th STREET  
MIAMI, FLORIDA 33157  
PH: (305) 772-0088  
FAX: (305) 278-1118

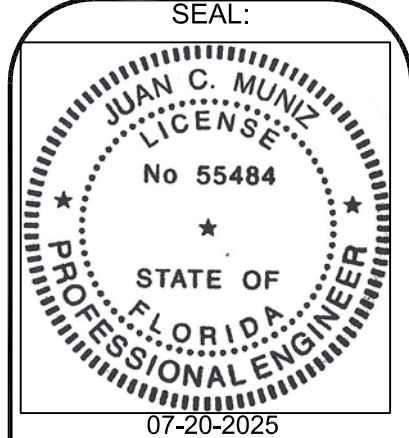


PROJECT

PINECREST 8

13100 S.W. 80TH AVENUE  
PINECREST FLORIDA 33156

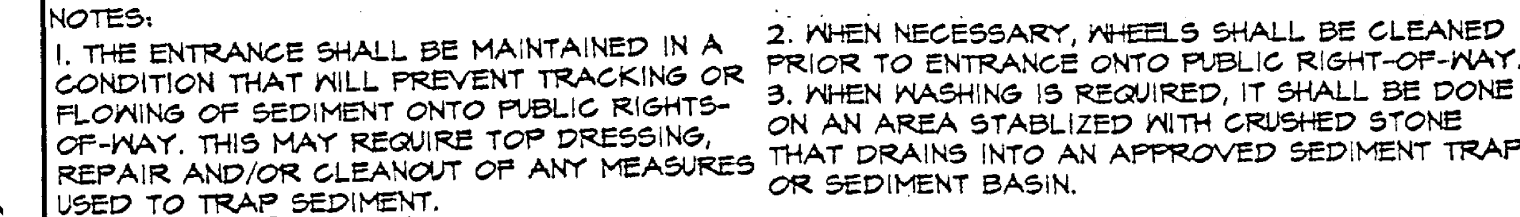
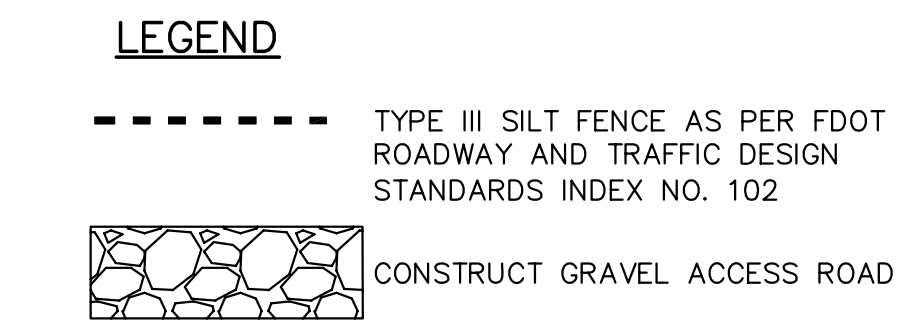
GRADING AND DRAINAGE PLAN



JUAN C. MUNIZ  
STATE OF FLORIDA  
REGISTRATION No. 55484  
C.A. 00008703

|              |            |
|--------------|------------|
| PROJECT No.: | 2024-48    |
| DESIGNED BY: | J.C.M.     |
| DRAWN BY:    | J.C.M.     |
| CHECKED BY:  | J.C.M.     |
| ISSUE DATE:  | 08-26-2024 |
| DRAWING No.: | 1"=10'     |

C1

C2