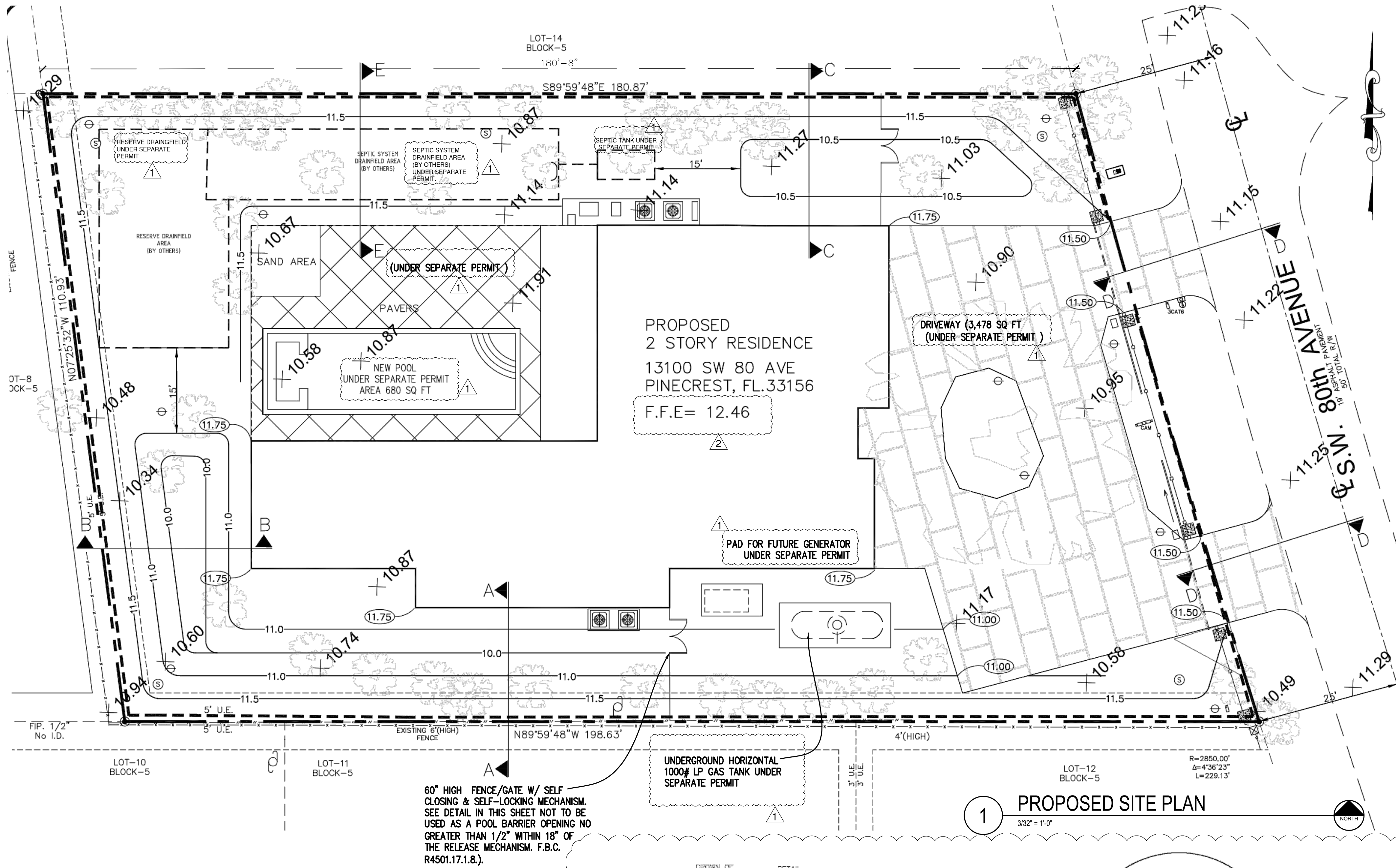




LEGEND

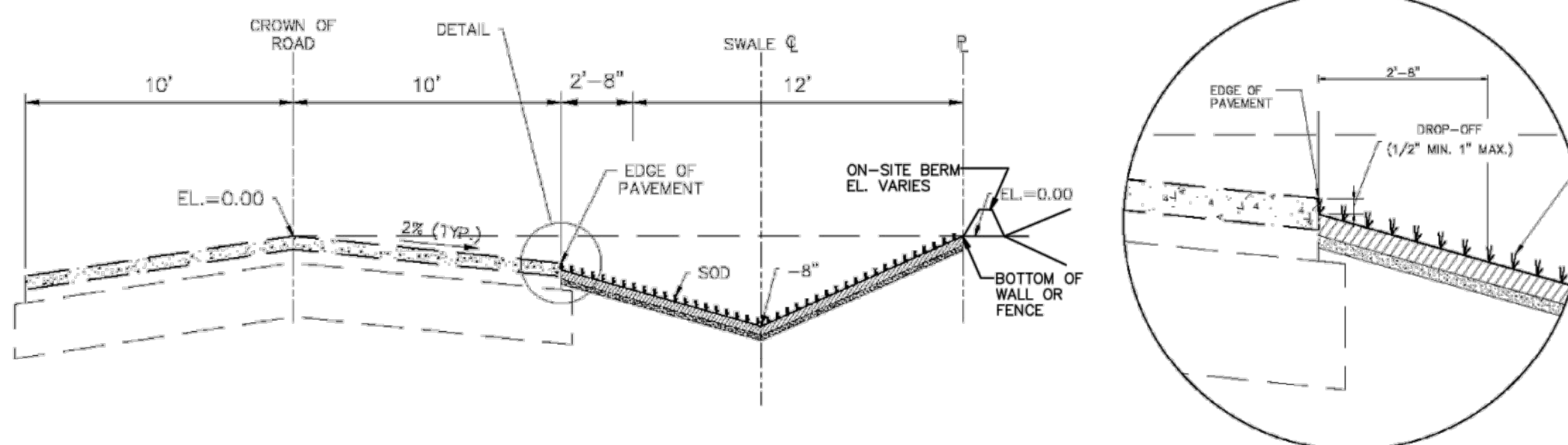
EXISTING ELEVATIONS
PROPOSED CONTOUR ELEVATIONS
PROPOSED GROUND ELEVATIONS

SITE NOTES:

1. MINIMUM PERMITTER BERM ELEVATION SHALL BE 12.0 OR 6\"/>

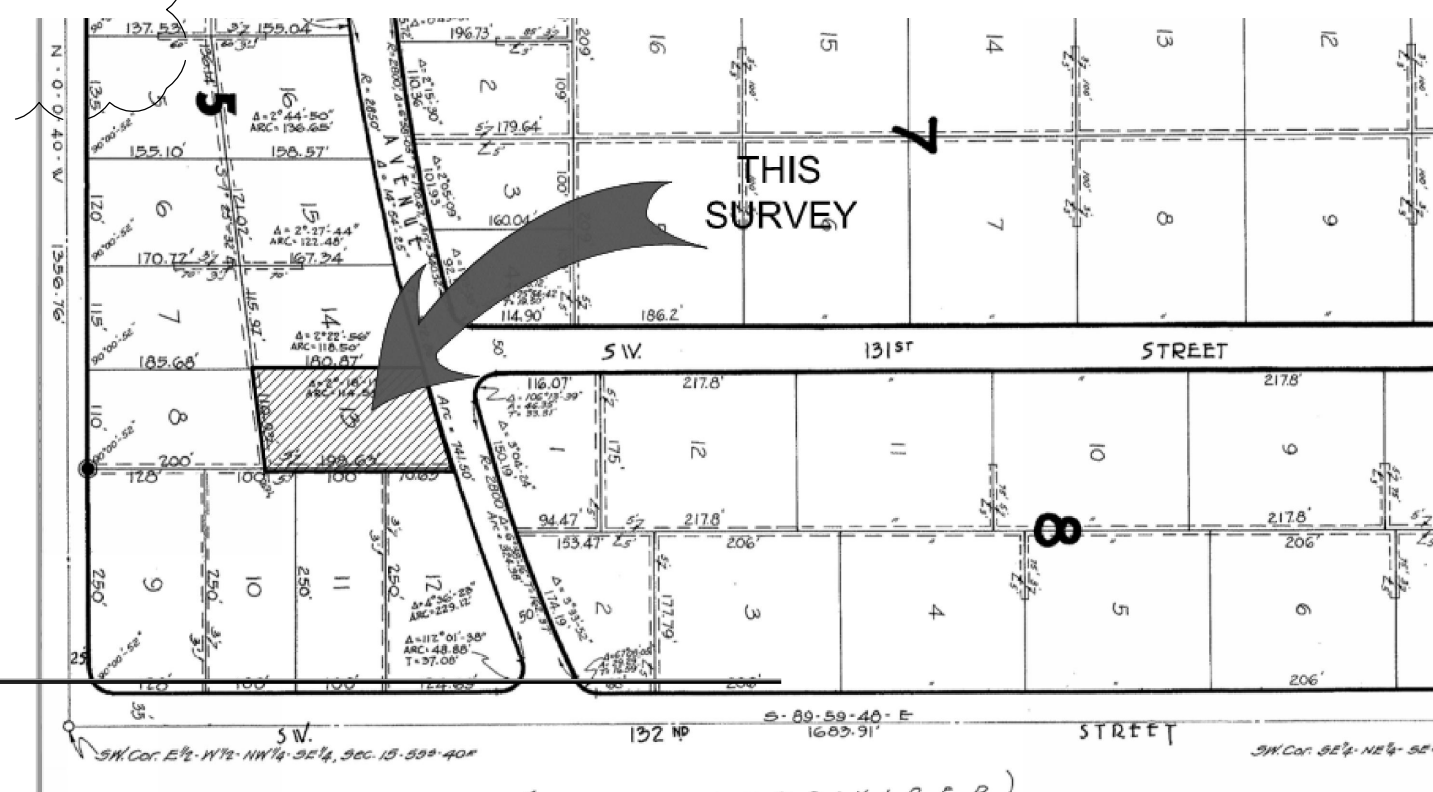
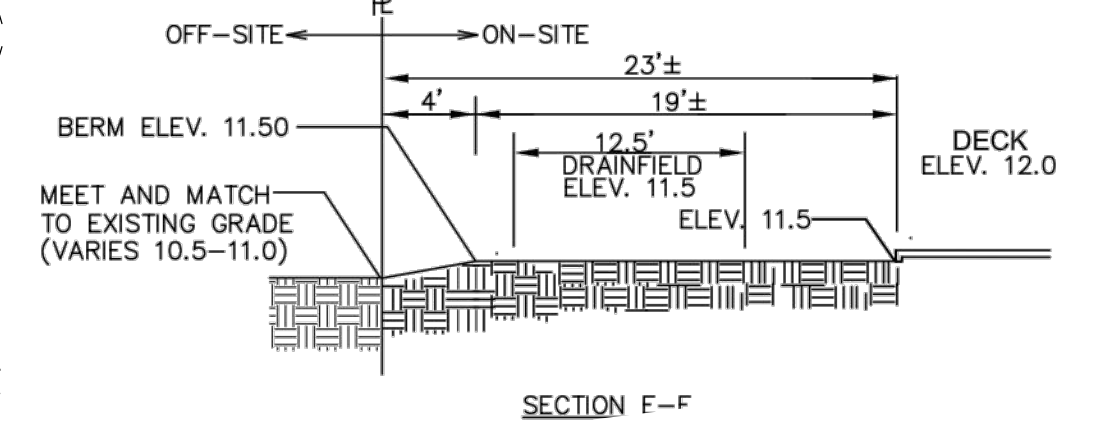
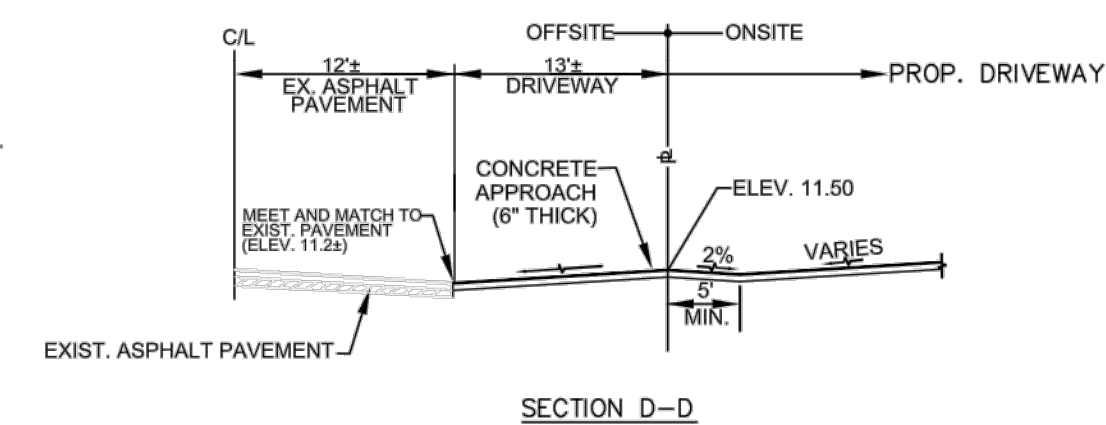
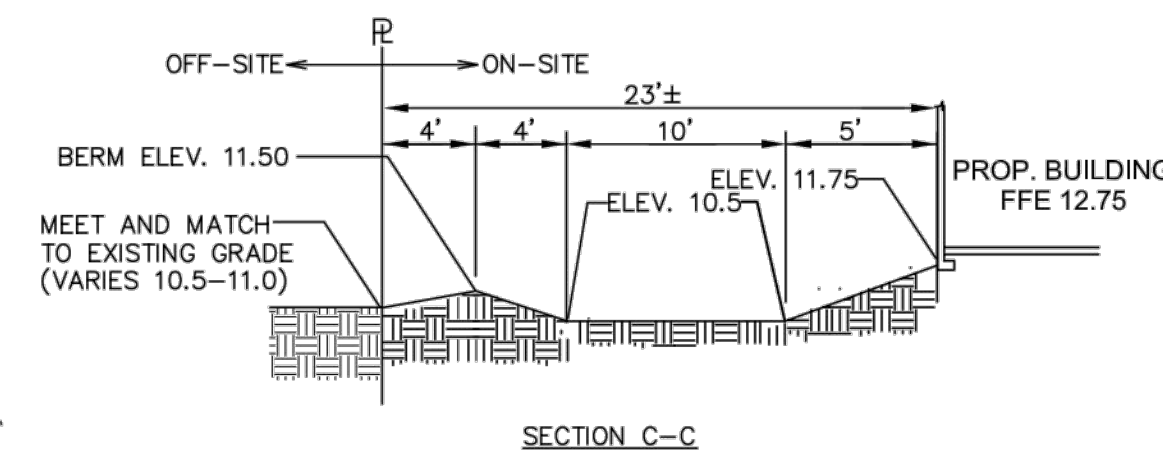
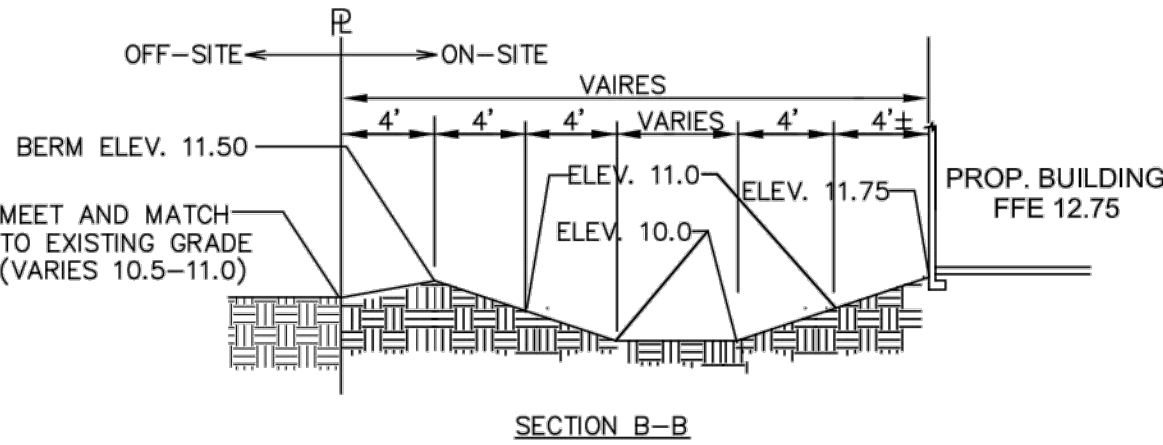
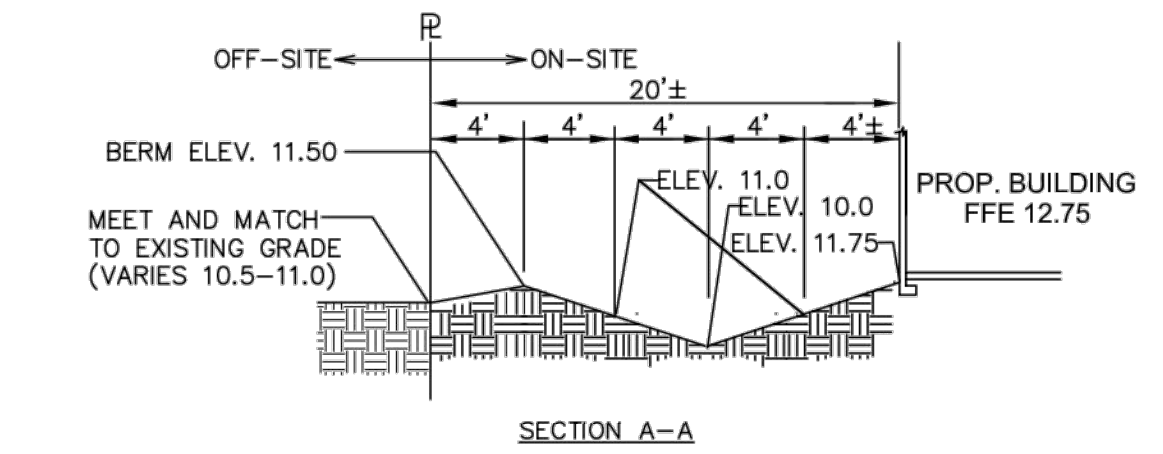
PUBLIC WORKS CONDITION OF PERMIT

1. No fill of ANY KIND can be brought on site or to the ROW outside of the building footprint.
2. No runoff generated from the driveway is permitted to discharge directly to the ROW or adjacent properties.
3. The ROW swale is to be graded using the Village PW Standard.
4. No trees are to be planted in the ROW before a conditional approval of the rough grading of the swale has been approved by Public Works.
5. No shrubs are to be planted in the ROW and any existing shrubs are to be removed.
6. No IRRIGATION, LIGHTING, or ELECTRICAL COMPONENTS of any kind may be installed in the ROW.
7. All proposed trees in the ROW will be planted a minimum of 7' from the edge of the pavement to the face of the tree and will be of type, kind, and spacing as approved by the Public Works Department. Public Works contact information is: publicworks@pinecrest-fl.gov
8. Any decorative d/w in the ROW shall have an 8\"/>



**VILLAGE OF PINECREST PUBLIC WORKS
TYPICAL SWALE DETAIL**

- Div. 6.12. —Excavation and fill.
- a) Maintenance of natural grade and elevation. Development and construction in the Village of Pinecrest shall be designed and constructed with an elevation and grading that are consistent with the requirements of the Village's Floodplain Management Ordinance, Stormwater Management Plan, and Comprehensive Development Master Plan. The established natural elevation and grade of a property under construction shall be fundamentally preserved and the finished grade and elevation shall be consistent and compatible with the grade and elevation of adjoining properties.
 - b) Fill water ward of the top of slope of any lake or waterway or alteration of an established shoreline in the VoP shall not be permitted unless approved as a conditional use.



LOCATION SKETCH
SCALE: 1\"/>



ARCHITECTURE
PLANNING
INTERIOR DESIGN

JORGE A. DE LA LLAMA
STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC 00404538

522 MADEIRA CORAL GABLES, FLORIDA 33134
(305) 461-5590 (305) 567-1425 FAX
EMAIL: JADLLARCH@AOL.COM

CONSULTANTS



JORGE A. DE LA LLAMA
STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC 00404538

PROJECT NAME

**P8
PINECREST
EIGHT**

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

**JUNCO
RESIDENCE**

DATE
DEC 16, 2024

REVISION	DATE	BY
1	3-20-25	REVISION
2	5-14-25	REVISION

DRAWING NAME

**SITE
PLAN GRADING &
DRAINAGE**

DESIGN BY:
ZECKY DA COSTA

DRAWN BY:
HUMBERTO LANTIGUA

SHEET NO.

S-PD.1