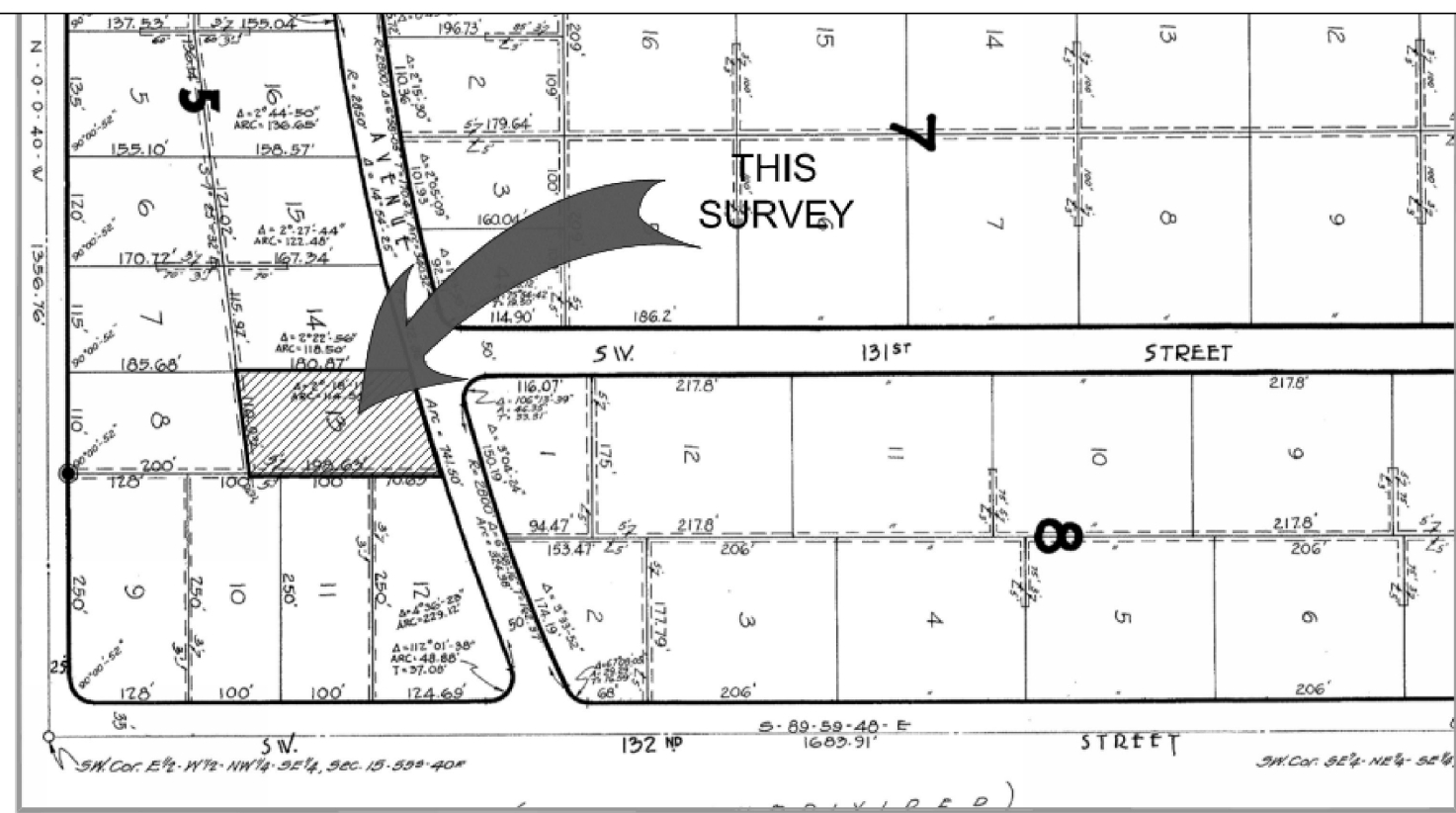




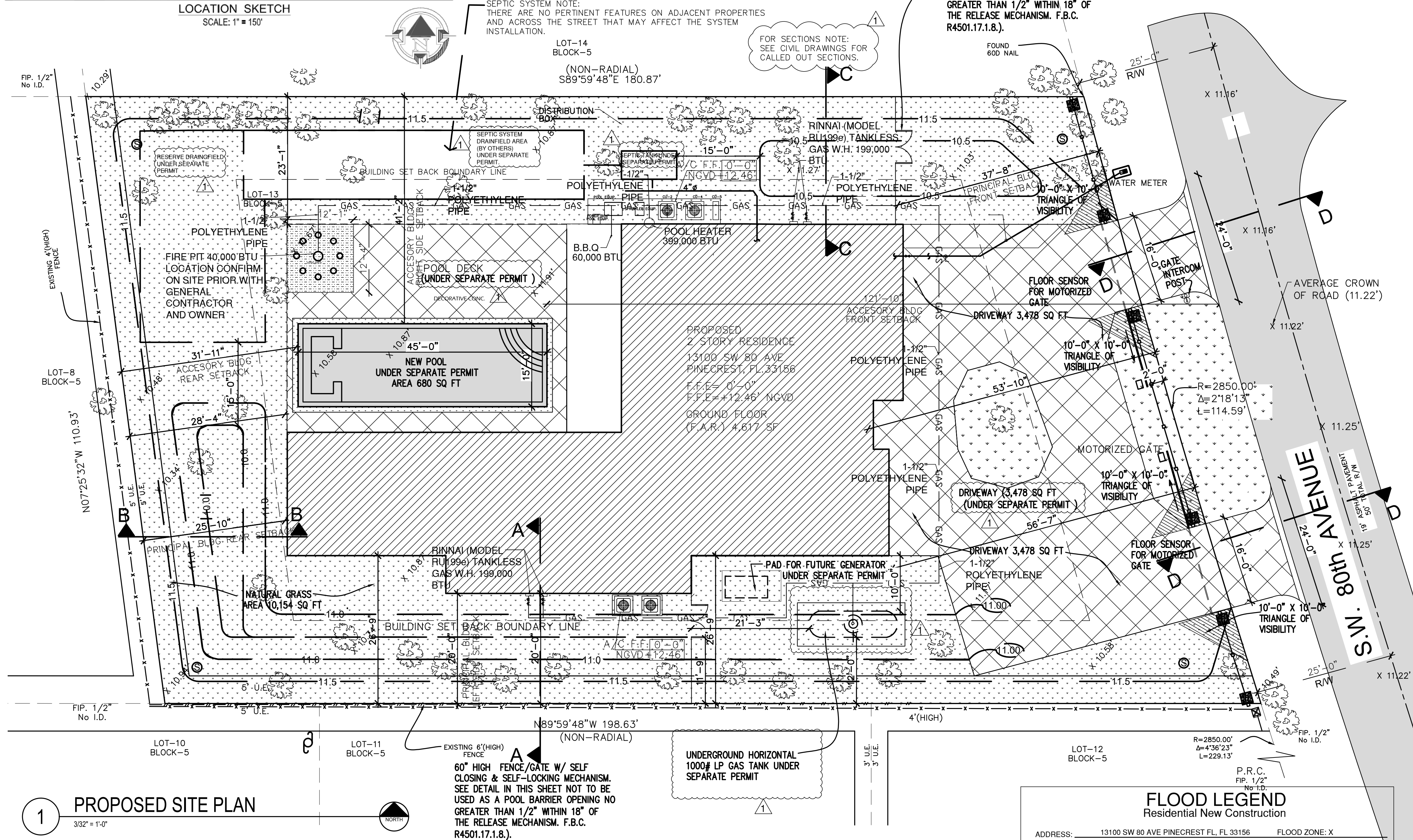
LOCATION SKETCH
SCALE: 1" = 150'

APPLICABLE CODES

FLORIDA BUILDING CODE 2023 8TH EDITION
NEC (ELECTRICAL CODE) 2023
PLUMBING CODE FBC 2023 8TH EDITION
MECHANICAL CODE FBC 2023 8TH EDITION
STRUCTURAL DESIGN CRITERIA AS PER FBC 2023 8th EDITION

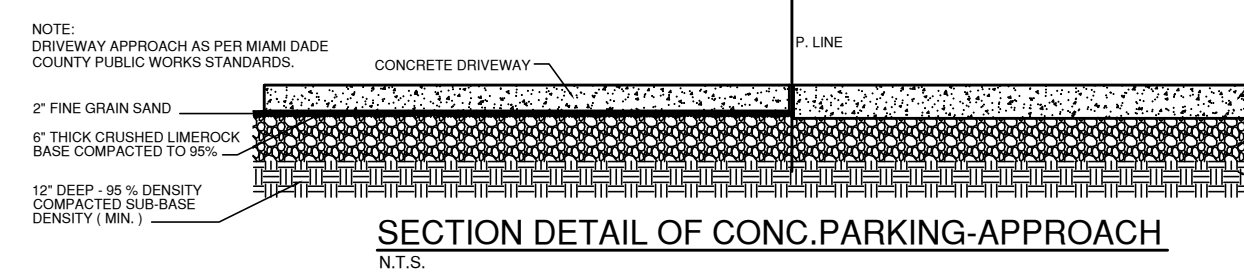
VISIBILITY TRIANGLES NOTE:

ALL TRIANGLES OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2.5) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.

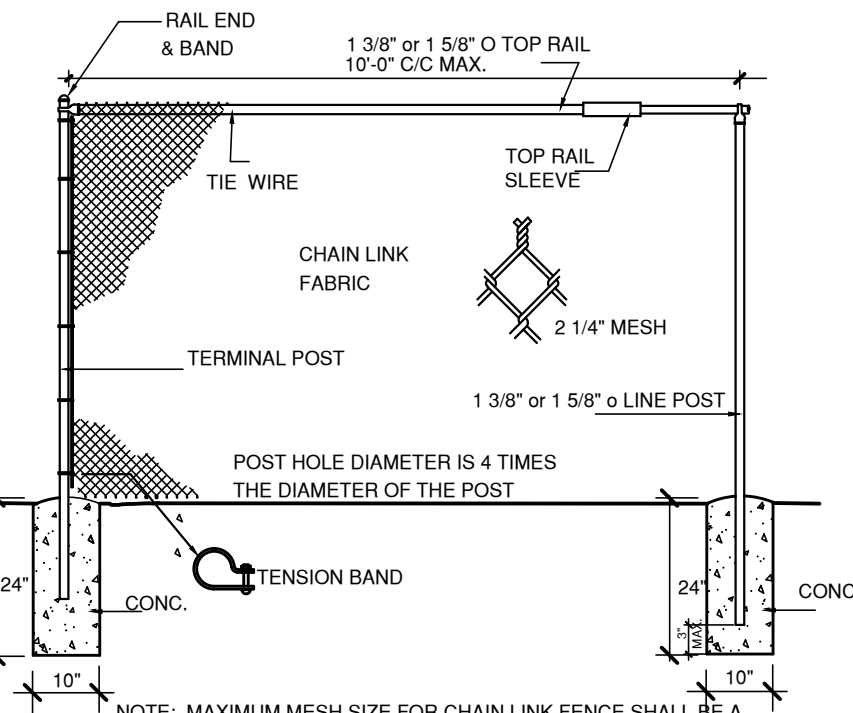


PROPOSED SITE PLAN

3/32" = 1'-0"



SECTION DETAIL OF CONC. PARKING-APPROACH
N.T.S.



SECTION DETAIL OF CONC. PARKING-APPROACH
N.T.S.

NOTE:
POOL GATES SHALL BE SELF-CLOSING, SELF LATCHING AND LATCH SHALL BE 54" ABOVE BOTTOM OF GATE OR MIN. 3" BELOW THE TOP OF THE GATE ON THE POOL SIDE.
LOCKS, IF SELF-LOCKING, MAY BE 34"-48" ABOVE FLOOR OR GROUND, F.B.C. 424.1.3.1.9

FLOOD LEGEND

Residential New Construction

ADDRESS: 13100 SW 80 AVE PINECREST FL, FL 33156		FLOOD ZONE: X		
LOT: 13	BLOCK: 5	PLAT BOOK: 53	PAGE: 7	
HIGHEST CROWN OF ROAD ELEV.: 10.22' FT. NGVD. HIGHEST CROWN OF ROAD ELEVATION WAS TAKEN FROM THE ATTACHED CERTIFIED SURVEY, OR A CERTIFIED SURVEY PREPARED BY:				
GINO FURLANO		PLS LIC.#: 5044		
SURVEYOR'S NAME				
PROPOSED FINISH FLOOR ELEVATION	CROWN OF ROAD ELEVATION	GARAGE FLOOR ELEVATION	ADJACENT GRADE ELEVATION	A/C AND POOL EQUIP. ELEVATION
12.46' FT. NGVD	11.22' FT. NGVD	11.96' FT. NGVD	11.29' FT. NGVD	12.46' FT. NGVD
ENCLOSED AREA OPENINGS WILL BE EQUIPPED WITH SCREENS OR LOUVERS. FLOOD RESISTANT				

ALL ELECTRICAL, MECHANICAL AND PLUMBING WILL BE PLACED AT OR ABOVE THE BASE FLOOD ELEVATION. (B.F.E.)

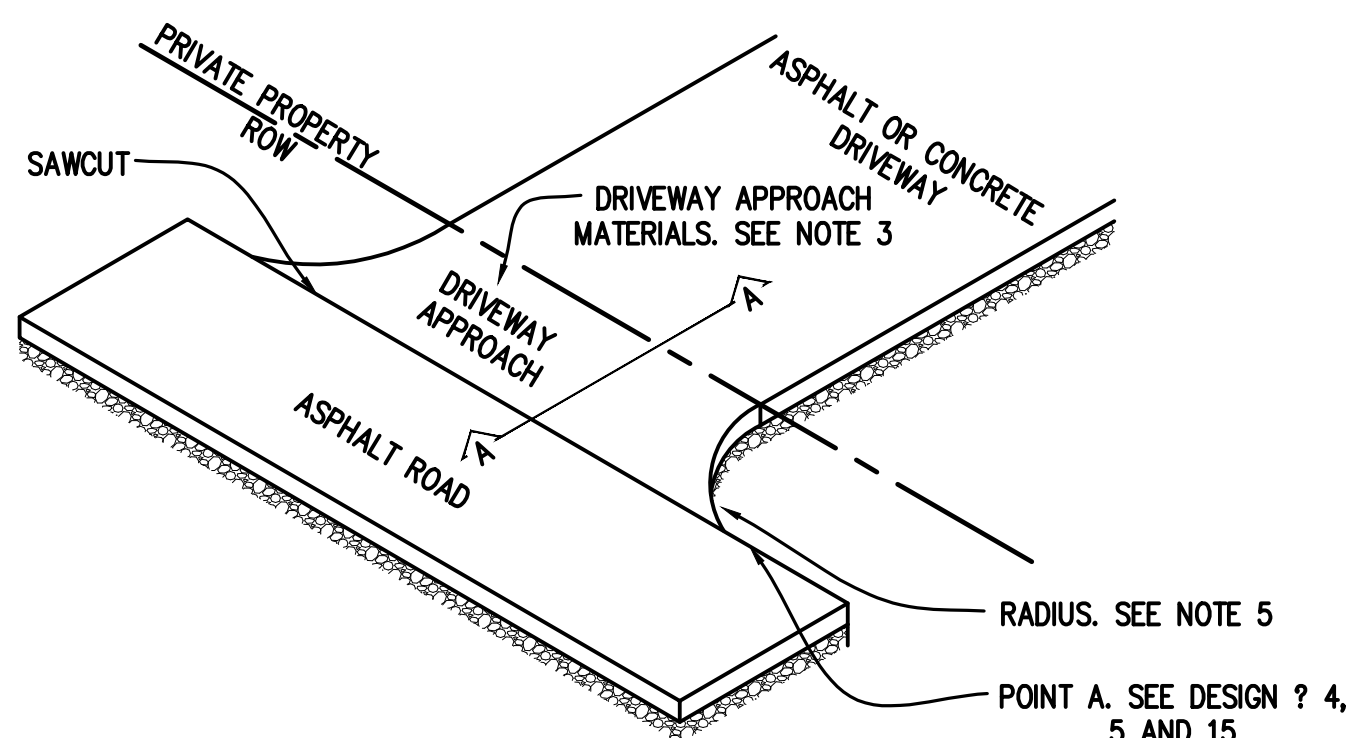
ALL AREAS BELOW B.F.E. SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE SQUARE INCH OF OPENING FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING. THE BOTTOM OF THE OPENING WILL BE NO HIGHER THAN ONE (1) FOOT ABOVE GRADE AND LOCATED ON DIFFERENT SIDES OF THE MATERIALS WILL BE USED BELOW B.F.E.

ALTERNATIVELY, SEE A CERTIFICATION BY P.E. ON THE PLAN NOTES INDICATING THAT THE DESIGN WILL ALLOWED FOR THE AUTOMATIC EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.

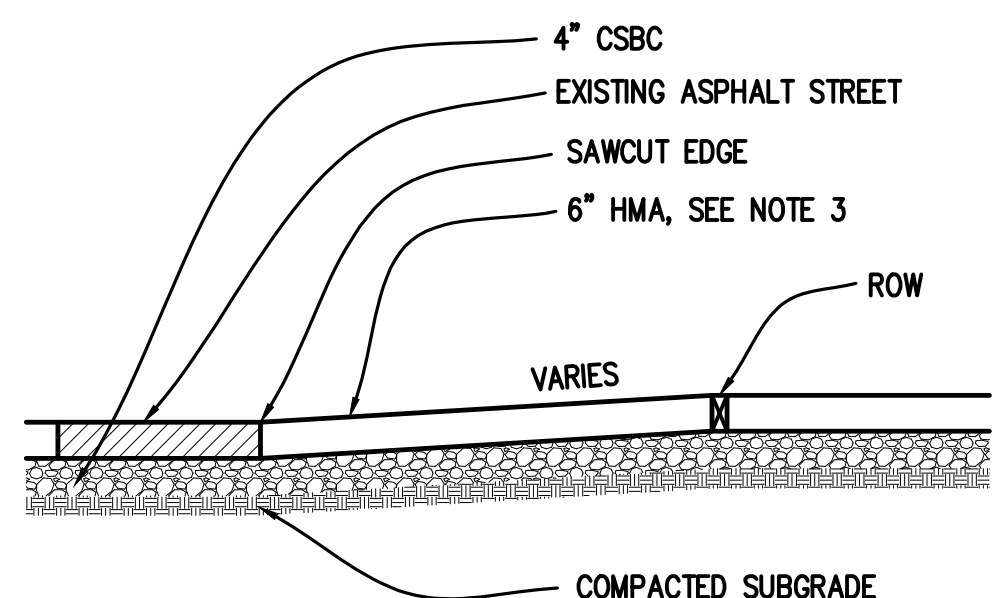
THE SITE WILL BE GRADED IN A MANNER TO PREVENT THE FLOODING OF ADJACENT PROPERTIES. WHERE NECESSARY INTERCEPTOR SWALES WILL BE CONSTRUCTED ON-SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES.

SITE CALCULATIONS

LOT INFORMATION - EU-M		
	REQUIRED (Max.)	PROVIDED
NET LOT AREA		21,077 sq.ft. (0.48 Acres)
ZONING REQUIREMENTS - EU-M		
FRONT SETBACK	25'-0"	37'-8"
REAR SETBACK	25'-0"	25'-10"
SOUTH SIDE SETBACK (SIDE STREET)	25'-0" (N/A)	(N/A)
NORTH SIDE SETBACK	15'-0"	23'-1"
SOUTH SIDE SETBACK	15'-0"	20'-0"
BUILDING HEIGHT	35'-0"	24'-6"
LOT COVERAGE BUILDING		4,617 sq.ft.
DRIVEWAY		3,478 sq.ft.
POOL		578 sq.ft.
POOL DECK DECORATIVE CONC.		1,055 sq.ft.
SENSITIVE GRASS		117 sq.ft.
SAND AREA		150 sq.ft.
EQUIPMENT SLABS		138 sq.ft.
TOTAL IMPERVIOUS AREA		10,125 sq.ft.
FLOR AREA RATIO (F.A.R.) - EU-M		
MAXIMUM 1ST FLOOR	6,323.1 sq.ft (30% max)	4,617 sq.ft (21.9%)
MAXIMUM 2ND FLOOR	6,323.1 sq.ft (30% max)	4,617 sq.ft (21.9%)
LOT COVERAGE - EU-M		
MAXIMUM LOT COVERAGE (INCLUDING ACCESSORY BLDGS)	6,323.1 sq.ft (30% max)	4,617 sq.ft (21.9%)
GREEN AREA - EU-M		
MINIMUM GREEN / PERVIOUS AREA	7,376.95 sq.ft (35% min)	10,125 sq.ft (48.03%)
MAXIMUM IMPERVIOUS AREA	13,700.05 sq.ft (65% max)	10,125 sq.ft (48.03%)



DRIVEWAY APPROACH DETAIL



SECTION A-A

LEGAL DESCRIPTION :

LOT 13, BLK 5, "PINE TREE ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 53, AT PAGE 7, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

* VISIBILITY TRIANGLES NOTE:

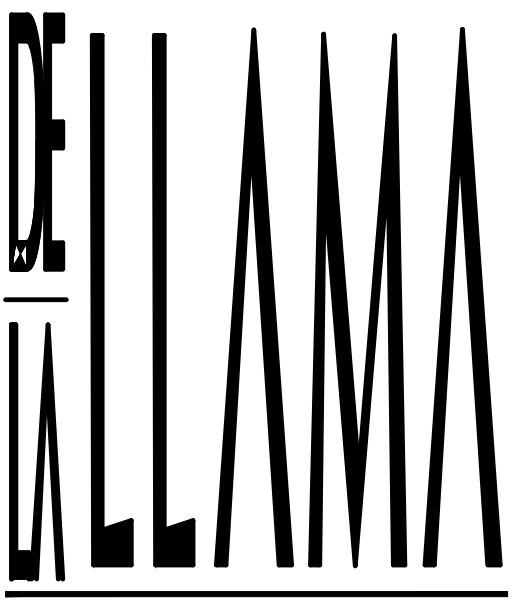
ALL TRIANGLES OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2.5) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.

TERMITE SOIL STATEMENT :

ALL BUILDING SHALL HAVE A PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES (AS PER R4409.13.5 FBC 2023)

VIOLATION NOTE:

FAILURE TO MAINTAIN LANDSCAPING ACCORDING TO APPROVED PLANS IS A CODE VIOLATION. FAILURE TO PLANT, PRESERVE, OR MAINTAIN IS A SEPARATE VIOLATION. EACH PLANT, EACH DAY. 18A-13 (C)



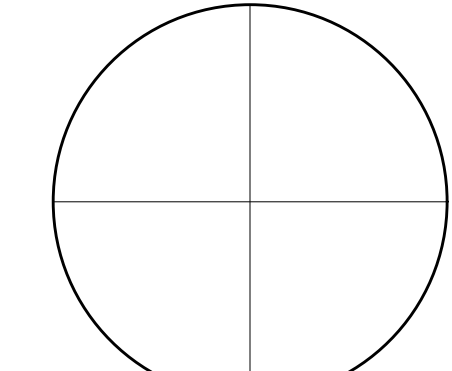
ARCHITECTURE
PLANNING
INTERIOR DESIGN

JORGE A. DE LA LLAMA

STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC.00404538

522 MADEIRA CORAL GABLES, FLORIDA 33134
(305) 461-5590 (305) 567-1425 FAX
EMAIL: JADLLARCH@AOL.COM

CONSULTANTS



JORGE A. DE LA LLAMA

STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC.00404538

PROJECT NAME

P8
PINECREST
EIGHT

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

JUNCO
RESIDENCE

DATE

DEC 16, 2024

REVISION DATE BY
1 3-20-25 REVISION

DRAWING NAME

SITE
PLAN

DESIGN BY:

ZECKY DA COSTA

DRAWN BY:

HUMBERTO LANTIGUA

SHEET NO.

S-P.1