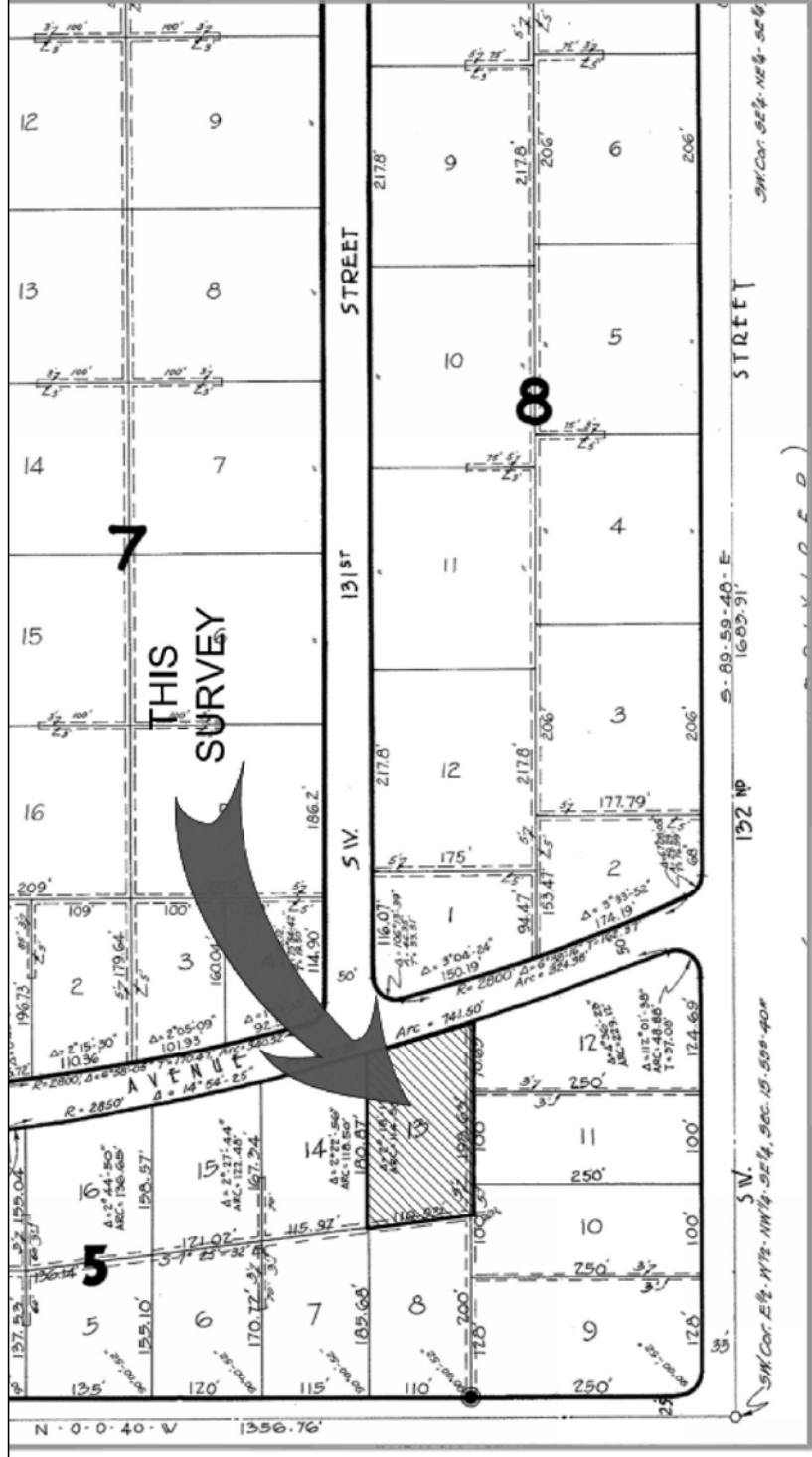


THE COUNTRY OF THE COMPANY, ITS DESIGN AND DRAWINGS ARE THE SOLE PROPERTY OF DE LA LLAMA - ASSOCIATES, INC. AND MAY NOT BE REPRODUCED OR IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF DE LA LLAMA - ASSOCIATES, INC. THE GENERAL CONTRACTOR AND ALL TRADES PERFORMING WORK ON THIS PROJECT SHALL BE EXCLUSIVELY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS WITH REPORTING ANY DISCREPANCIES TO THE DE LA LLAMA - ASSOCIATES, INC. BEFORE COMMENCING ANY WORK.



APPLICABLE CODES	
FLORIDA BUILDING CODE 2023 8TH EDITION	
NEC ELECTRICAL CODE 2023	
PLUMBING CODE 2023 8TH EDITION	
MECHANICAL CODE 2023 8TH EDITION	
STRUCTURAL DESIGN CRITERIA AS PER FBC 2023 8TH EDITION	

VISIBILITY TRIANGLES NOTE:
ALL TRIANGLES OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2.5) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.

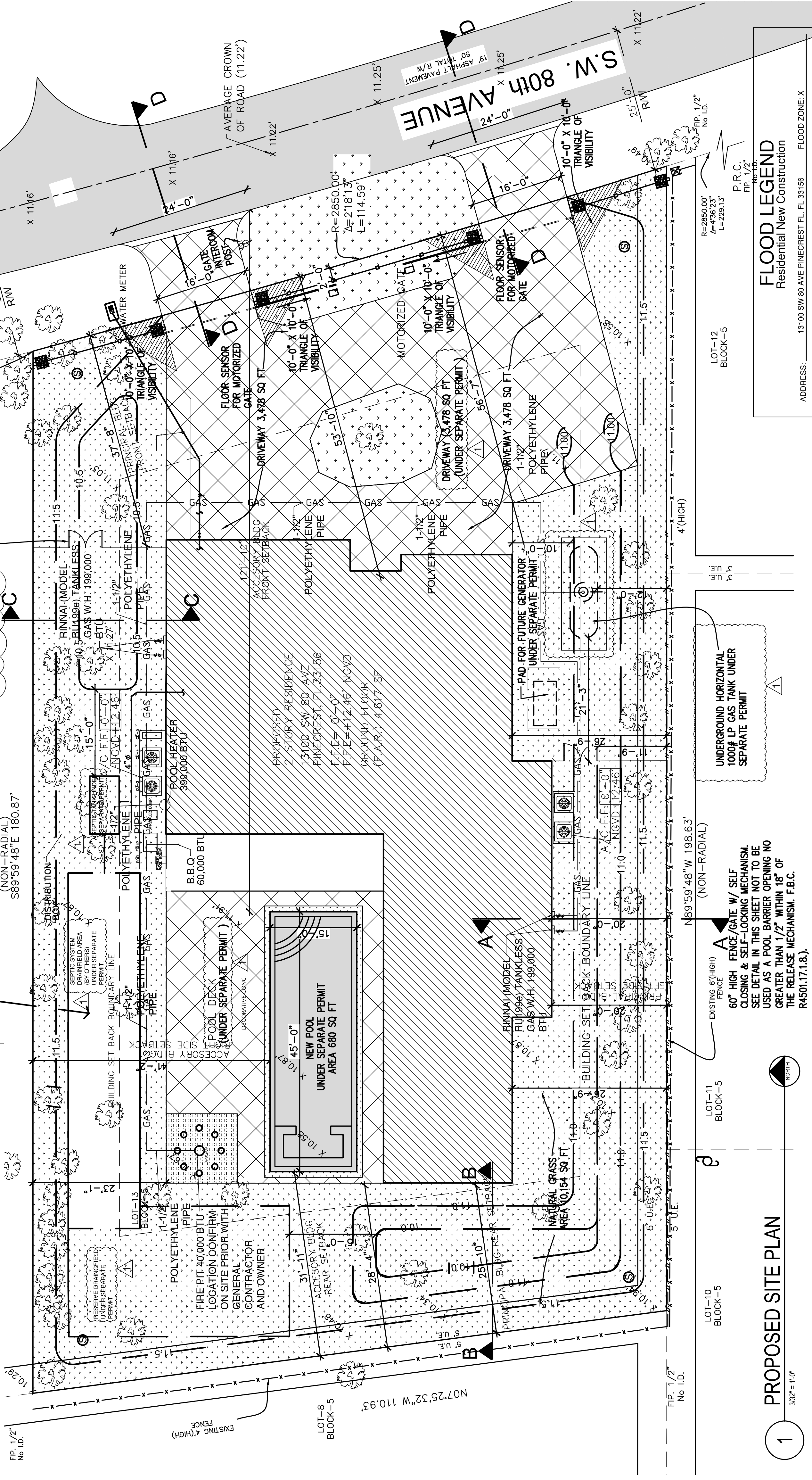
60" HIGH FENCE/GATE W/ SELF CLOSING & SELF-LOCKING MECHANISM. SEE DETAIL IN THIS SHEET NOT TO BE USED AS A POOL BARRIER OPENING NO GREATER THAN 1/2" WITHIN 18" OF THE RELEASE MECHANISM. F.B.C. R4501.17.1.8).

SEPTIC SYSTEM NOTE:
THERE ARE NO PERTINENT FEATURES ON ADJACENT PROPERTIES AND ACROSS THE STREET THAT MAY AFFECT THE SYSTEM INSTALLATION.

FOR SECTIONS NOTE:
SEE CIVIL DRAWINGS FOR CALLED OUT SECTIONS.

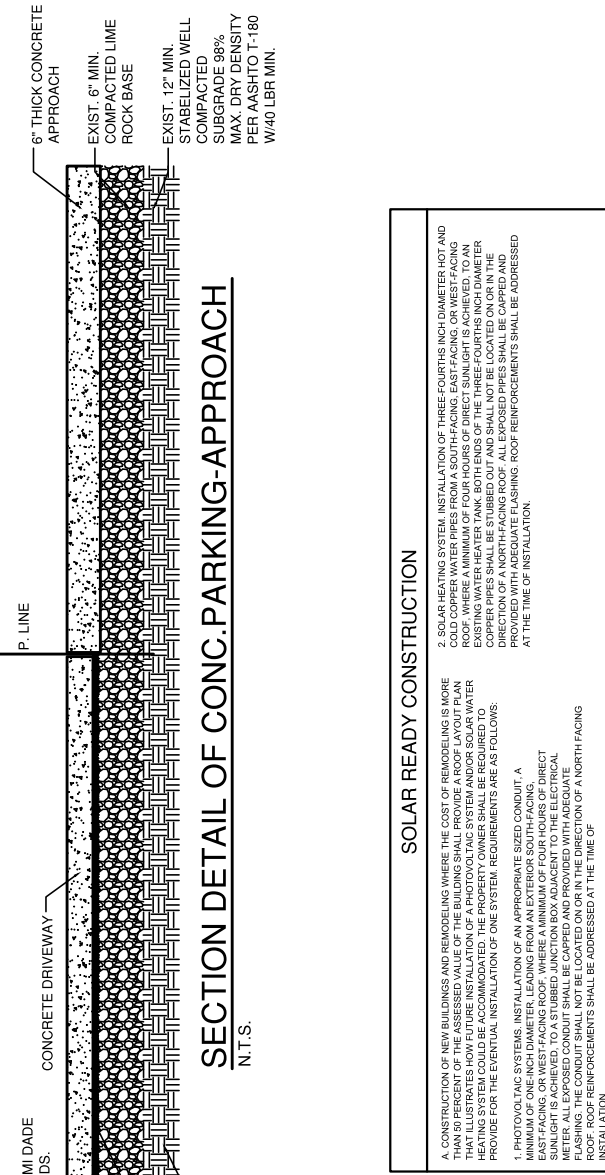
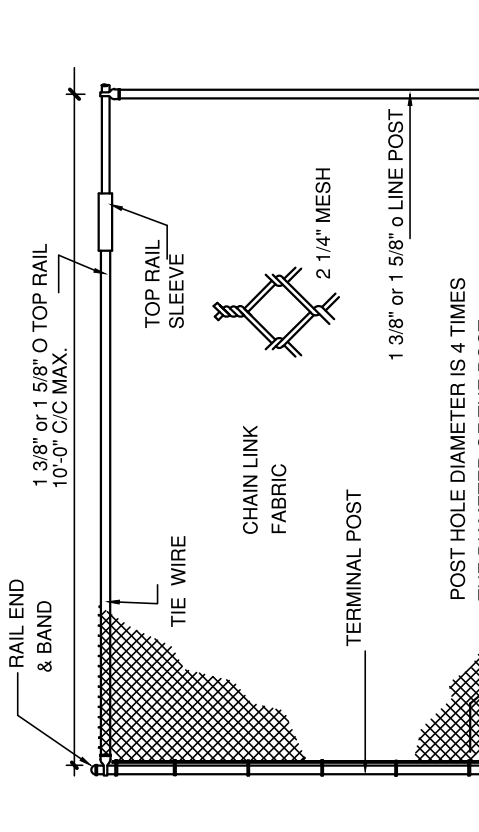


LOT-14
BLOCK-5
(NON-RADIAL)
S89°59'48"E 180.87'



1 PROPOSED SITE PLAN

3/32" = 1'-0"



NOTE:
ALL FENCES SHALL BE SELF-CLOSING, SELF-LATCHING AND LATCH SHALL BE 54" ABOVE BOTTOM OF GATE OR MIN. 2' BELOW THE TOP OF THE GATE ON LOCKS IF SELF-LOCKING. MAY BE 34"-48" ABOVE FLOOR OR GROUND. FBC 424.13.1.9

FLOOD LEGEND

Residential New Construction

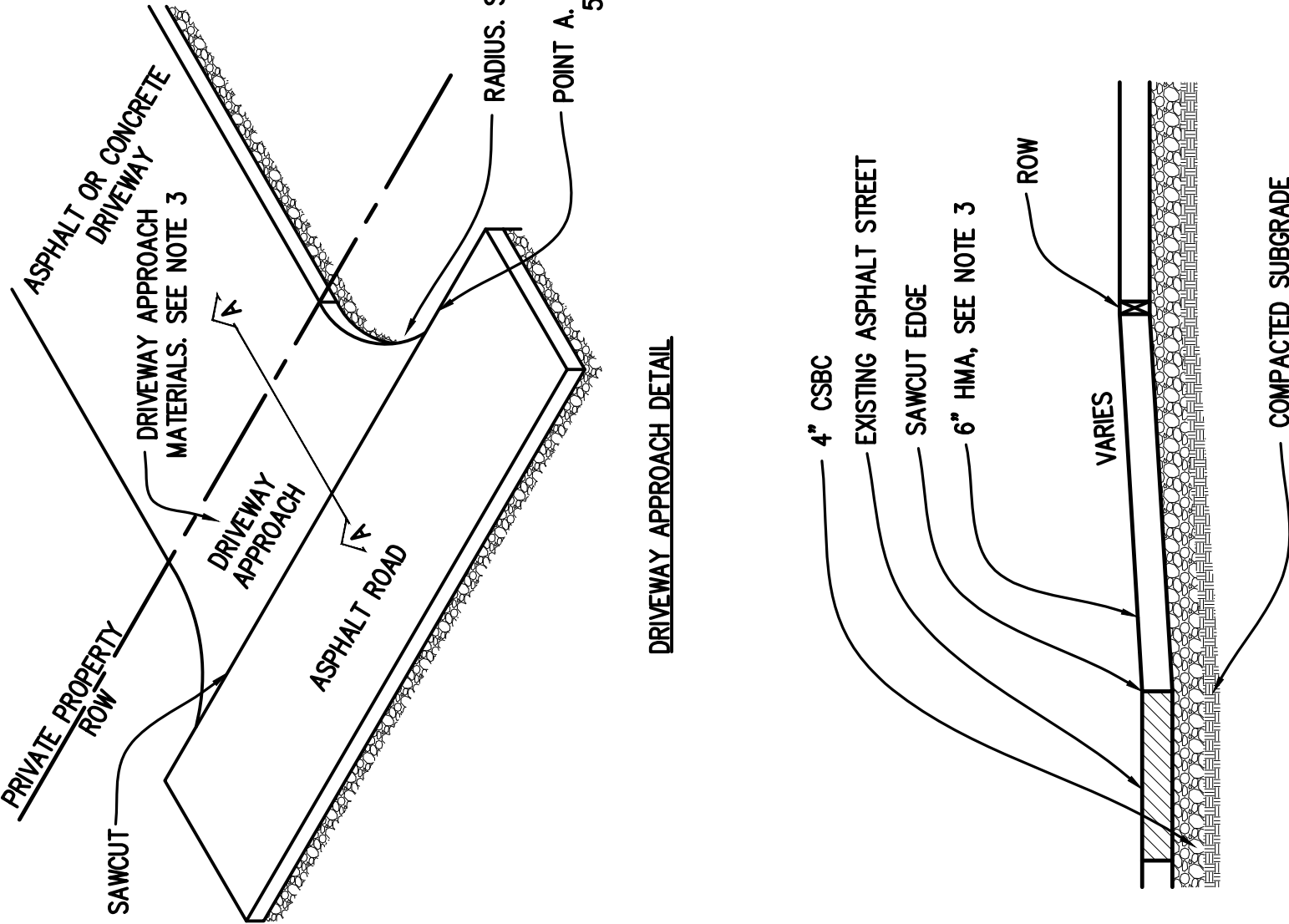
ADDRESS: 13100 SW 80 AVE PINECREST FL 33156 FLOOD ZONE: X
LOT: 13 BLOCK: 5 PLAT BOOK: 59 PAGE: 7
HIGHEST CROWN OF ROAD ELEV.: 10.22' FT. NGVD. HIGHEST CROWN OF ROAD ELEVATION WAS TAKEN FROM THE ATTACHED CERTIFIED SURVEY, OR A CERTIFIED SURVEY PREPARED BY:

GINO FURLANO		PLS LIC # 5044	
PROPOSED FLOOR ELEVATION	CROWN OF ROAD ELEVATION	GARAGE FLOOR ELEVATION	ADJACENT GRADE ELEVATION
12.46' FT. NGVD	11.22' FT. NGVD	11.96' FT. NGVD	12.46' FT. NGVD

ENCLOSED AREA OPENINGS WILL BE EQUIPPED WITH SCREENS OR LOUVERS. FLOOD RESISTANT ELEVATION: (6' F.E.)
ALL ELECTRICAL, MECHANICAL AND PLUMBING WILL BE PLACED AT OR ABOVE THE BASE FLOOD ELEVATION.
ALL AREAS BELOW B.T.F.E. SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE SQUARE INCH OF OPENING FOR EVERY SQUARE FOOT OF ENCLOSED AREA. THE BOTTOM OF THE OPENING SHALL BE AT LEAST 18" ABOVE THE FLOOD ELEVATION. THE OPENING SHALL BE LOCATED ON DIFFERENT SIDES OF THE MATERIALS WILL BE USED BELOW B.T.F.E.
ALTERNATIVELY, SEE A CERTIFICATION BY P.E. ON THE PLAN.
NOTES INDICATING THE DESIGNER'S DESIGN IS ALLOWED FOR THE AUTOMATIC EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.
THE SITE WILL BE GRADED IN A MANNER TO PREVENT THE FLOODING OF ADJACENT PROPERTIES.
NO ENCROACHMENT OVER ADJACENT PROPERTIES.

SITE CALCULATIONS

LOT INFORMATION - EU-M		REQUIRED (Max.)	PROVIDED
NET LOT AREA		21,077 sq. ft. (0.48 Acres)	
ZONING REQUIREMENTS - EU-M			
FRONT SETBACK	25'-0"		37'-8"
REAR SETBACK	25'-0"		25'-10"
SOUTH SIDE SETBACK (SIDE STREET)	25'-0" (N/A)		(N/A)
NORTH SIDE SETBACK	15'-0"		23'-1"
SOUTH SIDE SETBACK	15'-0"		20'-0"
BUILDING HEIGHT	35'-0"		24'-5"
LOT COVERAGE BUILDING			4,617 sq. ft.
DRIVEWAY			3,478 sq. ft.
POOL			680 SqFt
POOL DECK PAVING			607 SqFt
SAND AREA			150 SqFt
EQUIPMENT SLABS			130 SqFt
TOTAL IMPERVIOUS AREA			9,662 SqFt
FLOOR AREA RATIO (F.A.R.) - EU-M			
MAXIMUM 1ST FLOOR	6,323.1 sq. ft. (30% max)		4,617 sq. ft. (21.9%)
MAXIMUM 2ND FLOOR	6,323.1 sq. ft. (30% max)		4,617 sq. ft. (21.9%)
LOT COVERAGE - EU-M			
MAXIMUM LOT COVERAGE (INCLUDING ACCESSORY BLDGS)	6,323.1 sq. ft. (30% max)		4,617 sq. ft. (21.9%)
GREEN AREA - EU-M			
MINIMUM GREEN / PERVIOUS AREA	7,376.95 sq. ft. (35% min)		10,154 sq. ft. (48.18%)
MAXIMUM IMPERVIOUS AREA	13,700.05 sq. ft. (65% max)		9,662 sq. ft. (45.84%)



SECTION A-A

LEGAL DESCRIPTION:
LOT 13, BLK 5, "PINE TREE ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 53, AT PAGE 7, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

* VISIBILITY TRIANGLES NOTE:

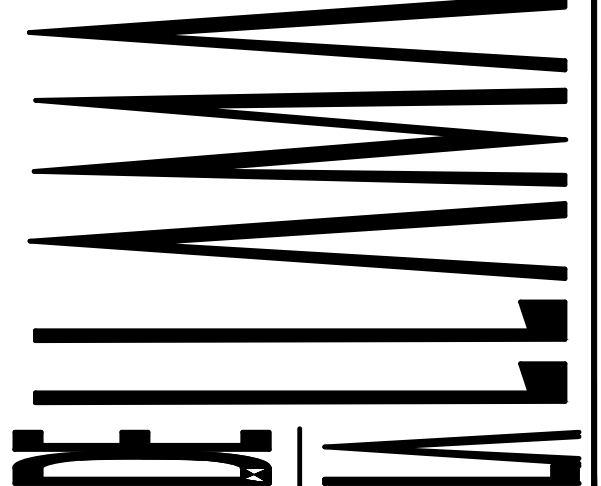
ALL TRIANGLES OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A HALF (2.5) FEET AND EIGHT (8) FEET ABOVE THE ESTABLISHED GRADE.

TERMITE SOIL STATEMENT:

ALL BUILDING SHALL HAVE A PRE-CONSTRUCTION TREATMENT PROTECTION FOR TERMITES. THE TREATMENT SHALL BE PERFORMED BY A LICENSED TERMITE TREATMENT COMPANY. THE TREATMENT SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF TERMITES IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES (AS PER R4409.13.5 FBC 2023)".

VIOLATION NOTE:

FAILURE TO MAINTAIN LANDSCAPING ACCORDING TO APPROVED PLANS IS A CODE VIOLATION. FAILURE TO PLANT, PRESERVE, OR MAINTAIN IS A SEPARATE VIOLATION. EACH PLANT, EACH DAY, 184-13 (C)

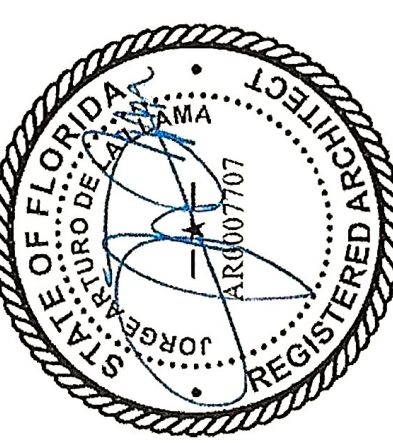


ARCHITECTURE
PLANNING
INTERIOR DESIGN

JORGE A. DE LA LLAMA
STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC 00484538

522 MADIERA CORAL GABLES, FLORIDA 33134
(305) 461-5590 | (305) 567-1425 FAX
EMAIL: JAD@LLAMAARCH.COM

CONSULTANTS



JORGE A. DE LA LLAMA
STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC 00484538

PROJECT NAME

P8
PINECREST
EIGHT

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

JUNCO
RESIDENCE

DATE

DEC 16, 2024

REVISION

DATE

3-20-25 REVISION

DRAWING NAME

SITE

PLAN

DESIGN BY:

ZEKY DA COSTA

DRAWN BY:

HUMBERTO LANTIGUA

SHEET NO.

S-P.1