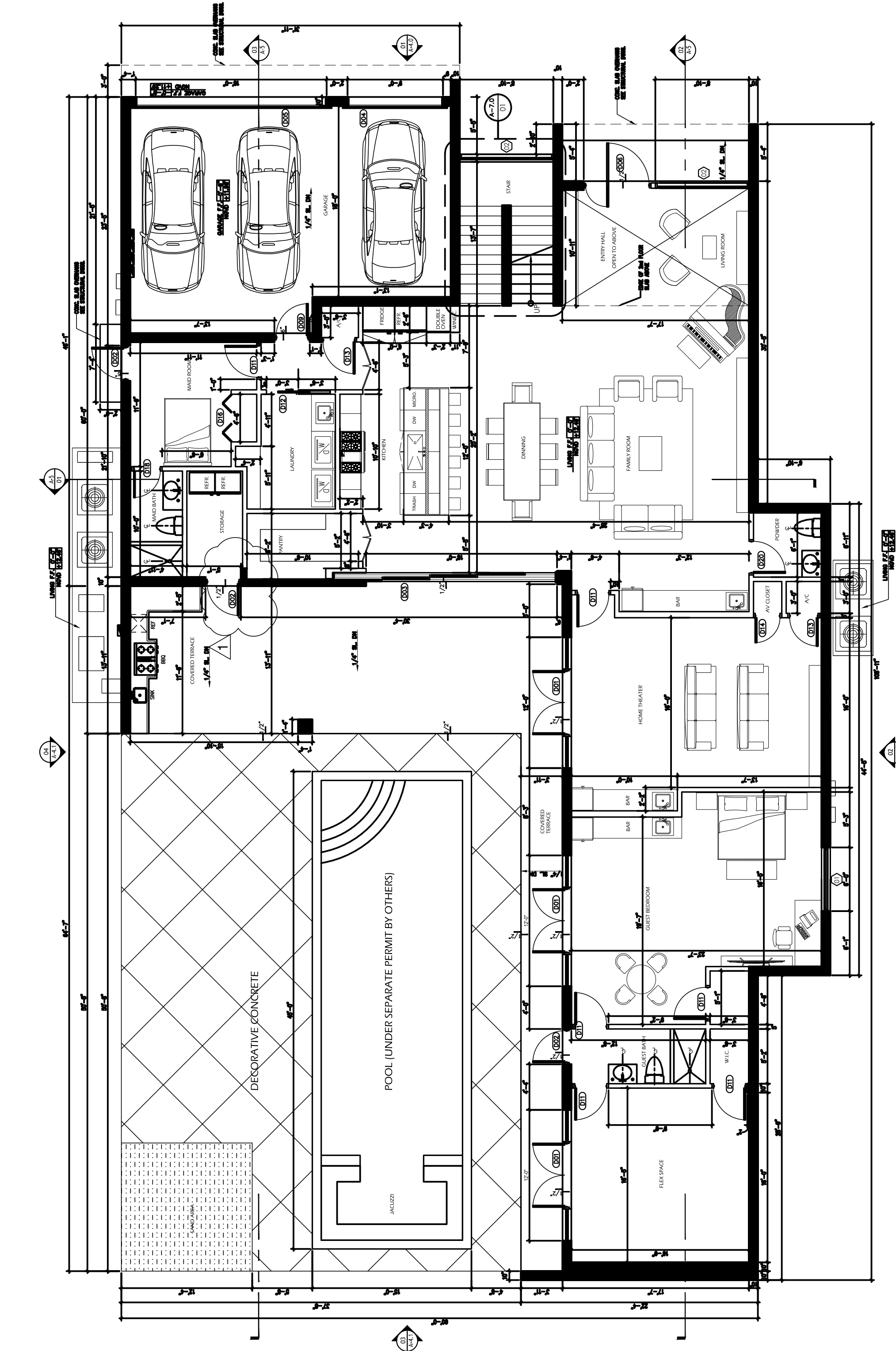


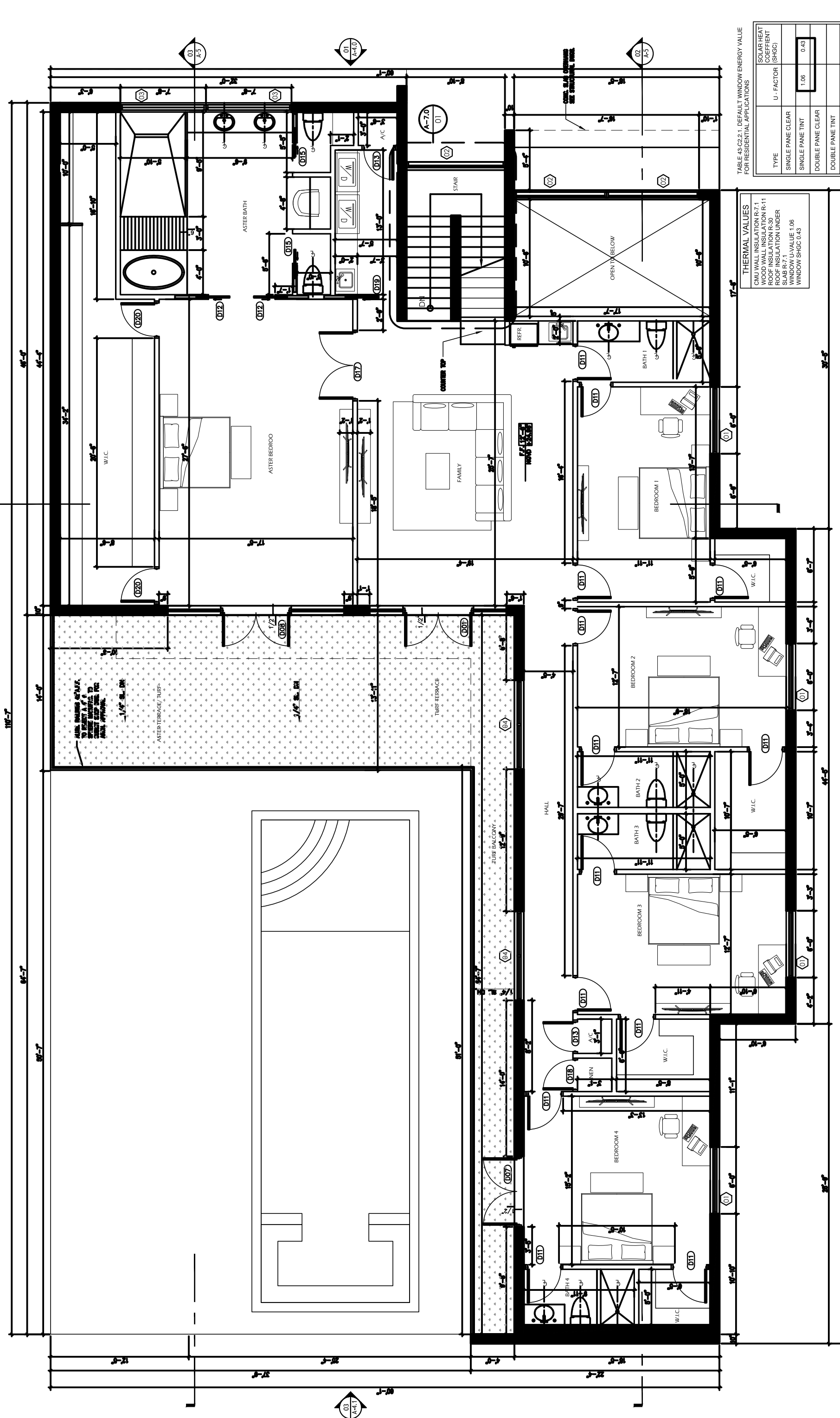


THE CONTENTS OF THIS DOCUMENT, ITS DESIGN AND DRAWINGS ARE THE COPYRIGHTED PROPERTY OF DE LA LLAMA ASSOCIATES, INC. AND MAY NOT BE REPRODUCED OR IN ANY PART WITHOUT THE WRITTEN CONSENT OF DE LA LLAMA ASSOCIATES, INC. THE GENERAL CONTRACTOR AND ALL TRADES PERFORMING WORK ON THIS PROJECT SHALL BE EXCLUDED FROM VERIFYING ALL DIMENSIONS AND CONDITIONS WITH REPORTING ANY DISCREPANCIES TO THE DE LA LLAMA ASSOCIATES, INC. BEFORE COMMENCING ANY WORK.



GROUND FLOOR PLAN

1/8" = 1'-0"



SECOND FLOOR PLAN

1/8" = 1'-0"

GENERAL NOTES:

- DOORS IN THE PATH OF TRAVEL OF A MEAN OF ESCAPE, OTHER THAN BATHROOM DOORS IN ACCORDANCE WITH 24.2.2 AND DOOR SERVING A ROOM NOT EXCEEDING 70 SF, SHALL BE NOT LESS THAN 25" IN PENPPA-24.2 .4).
- BATHROOM DOORS AND DOORS SERVING A ROOM NOT EXCEEDING 70 SF SHALL BE NOT LESS THAN 24" WIDE.(NFPA-24.2 .4.2)
- DOORS SHALL SE NOT LESS THAN 6'-8" IN NOMINAL HEIGHT. (NFPA-24.2 .4.5)
- EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET. (NFPA-24.2 .4.4)
- PROVIDE SOLID BACKING, AT NEW CLOSETS AND BATHROOM CABINET.
- EVERY BATHROOM DOOR LOCK SHALL SE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE DURING, AN EMERGENCY WHEN LOCKED. (NFPA-24.2.4.5)
- BATHROOM FLOORS AND BASE TO BE OF IMPERVIOUS MATERIAL.
- BATHTUB AND SHOWER FLOORS AND HALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (PBC-R507.2)
- CAT. II SAFETY GLASS SHALL BE USED AT ALL SHOWER/TUB ENCLOSURES INCLUDING WINDOWS WITH SILLS LOWER THAN 60" AND MIRRORS IN THE TUB
- ALL GLASS USED INSIDE OF DWELLING SHALL BE TEMPERED.
- SECONDARY MEAN OF EGRESS: IT SHOULD BE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS, KEYS OR SPECIAL EFFORT AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 5.7 SF. THE WIDTH SHOULD NOT BE LESS THAN 20" IN WIDTH AND THE HEIGHT NOT LESS THAN 24" TO THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR. (NFPA-24.2 .2 .3 .5)
- HEIGHT OF WINDOW SILL WINDOWS SHALL BE A MIN. OF 36" ABOVE THE FINISH FLOOR AND SHALL NOT EXCEED A MAX. OF 44" ABOVE THE FINISH FLOOR.
- (NFPA-24.5.4.1) SMOKE ALARM SHOULD BE INSTALLED IN ACCORDANCE WITH NFPA IN THE FOLLOWING LOCATIONS: ALL SLEEPING ROOMS; OUTSIDE OF EA. SEPARATE SLEEPING ROOMS; IMMEDIATE VICINITY OF THE SLEEPING ROOMS. - ON EA. LEVEL OF THE UNIT, INCLUDING BASEMENTS.
- IF SO IL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, DISTURBED SOIL AREA AFTER INITIAL CHEMICAL SOIL TREATMENT SHALL BE RETREATED WITH A CHEMICAL SOIL TREATMENT, INCLUDING SPACES BOXED OR FORMED.
- ALL INSULATION MATERIAL TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED 1 N ACCORDANCE WITH ASTM E54 OR UL 723- 1950 8502.10.1
- Interior finished emit low VOC- site applied finished shall meet specified VOC emissions limits in accordance with GREENGUARD Environmental Institute GGP5.001 standard for building material and finishes ; or Green Seal (GS) standards

CONSTRUCTION AREA CALCULATIONS: (F.A.R) AREA CALCULATIONS:

GROUND FLOOR:		GROUND FLOOR:	
A/C AREA (F.A.R)	3,447 SQ. FT.	A/C AREA (F.A.R)	3,447 SQ. FT.
GARAGE (F.A.R)	654 SQ. FT.	GARAGE (F.A.R)	654 SQ. FT.
COVER ENTRY	848 SQ. FT.	TOTAL	4,101 SQ. FT.
TOTAL		TOTAL	
4,949 SQ. FT.		4,101 SQ. FT.	
SECOND FLOOR:		SECOND FLOOR:	
A/C AREA (F.A.R)	4029 SQ. FT.	A/C AREA (F.A.R)	3844 SQ. FT.
OPEN TERRACE	779 SQ. FT.	OPEN TO BELOW	185 SQ. FT.
TOTAL	4,808 SQ. FT.	OPEN TERRACE	779 SQ. FT.
TOTAL CONST. AREA CALC.		TOTAL	4,808 SQ. FT.
9,757 SQ. FT.			

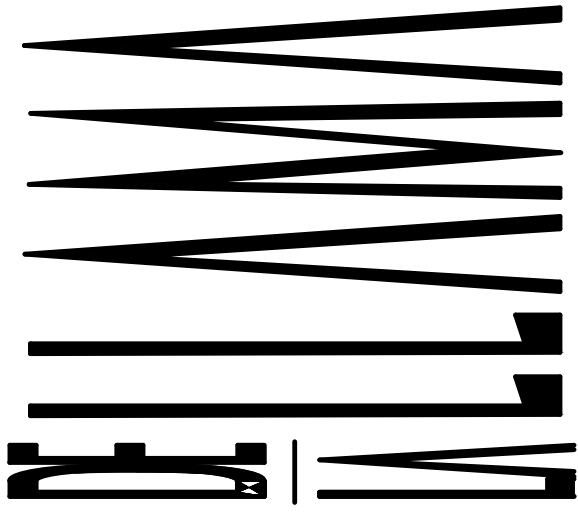
WALL & SYMBOL LEGEND:

- 8" CONC. BLOCK WALL W/STUCCO ON 5/8" GWB ON BOTH SIDES
- NEW DOOR DESIGNATION
- 8" CONC. BLOCK WALL W/STUCCO ON 5/8" GWB INTERIOR SIDE
- NEW WINDOW DESIGNATION
- CONC. BLOCK WALL W/WOOD CLADDING FINISH ON THE OUTSIDE
- REFER TO NEW FLOOR PLAN LEGEND DESIGNATION
- 3-5/8" NON-RATED INTERIOR MTL STUD PARTITION W/ 5/8" GWB ON BOTH SIDES
- REFER TO NEW ROOM INTERIOR ELEVATION "I"
- 1/2" NON-RATED INTERIOR MTL STUD PARTITION W/ 5/8" GWB ON ONE SIDE

FLOOR PLAN LEGEND:

- REFRIGERATOR (PROVIDE WATER LINE)
- WASHER
- DOUBLE COMPARTMENT SINK WITH 6ARBAGGE
- CUSTOM-MADE LAUNDRY MILLWORK (BY OTHERS)
- DISHWASHER
- UTILITY SINK
- GAS COOK TOP
- WATER HEATER (TANK LESS GAS)
- RANGE HOOD-PROVIDE EXH. THROUGH THE WALL
- BAR SINK
- BUILT-IN DOUBLE OVEN
- LAVATORY VANITY
- WARMING DRAWER
- VANITY MOUNTED EX. PROVIDE WALL
- MICROWAVE
- SPA TUB/CLUB SURROUNDED LOW WALLS AND TOP WRAPPED IN MOSAIC. PROVIDE ACCESS PANEL FOR SPA MOTOR)
- BUILT-IN COFFEE MAKER
- SHOWER GLAZED ENCLOSURE (CAT. II) UNDER TILE
- UNDER COUNTER ICE MAKER
- SHOWER/TUB (PROVIDE HARDIE BOARD UNDER TILE)
- UNDER COUNTER REFRIGERATOR
- SHOWER HEADS TO SE CEILING MOUNTED
- UNDER COUNTER WINE COOLER
- WINE CELLAR (BY OTHERS/PROVIDE OUTLET)
- UNDER COUNTER RETRACTABLE TRASH BIN
- 18" OR 24" LAUNDRY CHUTE DRYER
- LINEAL DRAINAGE (RECESS AND SLOPE SLAB) @ SHOWERS

NOTE:
SHELVING TO BE DEFINED IF VINYL, OPEN ARED OR WOOD PANEL.
ALL CLOSETS TO SE DESIGNED BY OTHERS (SELECTED SY OWNERS) G.C. TO PROVIDE WALL BACKING ACCORDINGLY.



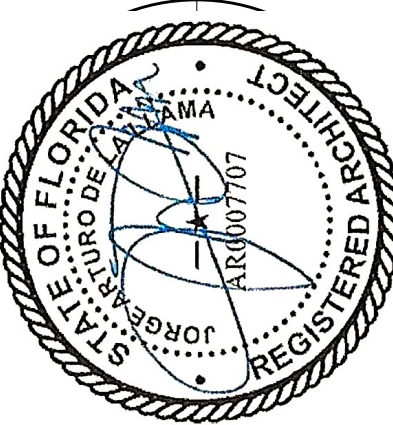
ARCHITECTURE
PLANNING
INTERIOR DESIGN

JORGE A. DE LA LLAMA

STATE OF FLORIDA - #28007707
STATE OF COLORADO - ARC 0044538

522 MADIERA CORAL GABLES - FLORIDA 33134
(305) 461-5590 | (305) 567-1425 FAX
EMAIL: JAD@LLAMAARCH.COM

CONSULTANTS



JORGE A. DE LA LLAMA

STATE OF FLORIDA - #28007707
STATE OF COLORADO - ARC 0044538

PROJECT NAME

P8
PINECREST
EIGHT

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

JUNCO
RESIDENCE

DATE

DEC 16, 2024

REVISION

BY

3-20-25 REVISION

AREA CALCS
GROUND FLOOR &
2ND FLOOR

DESIGN BY:

ZECKY DA COSTA

DRAWN BY:

HUMBERTO LANTIGUA

SHEET NO.

A-2.1

THE CONTENT OF THIS DOCUMENT, INCLUDING ANY DRAWINGS, IS THE SOLE PROPERTY OF JORGE A. DE LA LLAMA & ASSOCIATES, INC. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF JORGE A. DE LA LLAMA & ASSOCIATES, INC. IS PROHIBITED. THE GENERAL CONTRACTOR AND ALL TRADES PERFORMING WORK ON THIS PROJECT SHALL BE EXCLUDED RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS WITH REFERENCE TO THE JORGE A. DE LA LLAMA & ASSOCIATES, INC. BEFORE COMMENCING ANY WORK.

OVERFLOW DRAIN CALCULATIONS Rainfall rate 100 years / 1 Hour Rainfall / 5 in/hr Eastern United States	ROOF TYPE	AREA (Sq.Ft.)	ROOF DRAIN (Dia. in.)	OVERFLOW Required	OVERFLOW Provided
	A	622	4	12.5 (Sq.in.)	(1) 4" ϕ = 12.56 (Sq.in.)
	B	1,178	4	12.5 (Sq.in.)	(1) 4" ϕ = 12.56 (Sq.in.)
	C	1,122	4	12.5 (Sq.in.)	(1) 4" ϕ = 12.56 (Sq.in.)
	D	835	4	12.5 (Sq.in.)	(1) 4" ϕ = 12.56 (Sq.in.)
	E	835	4	12.5 (Sq.in.)	(1) 4" ϕ = 12.56 (Sq.in.)

ROOF DRAINAGE NOTES: (F.B.C. 2023 EDITION)

- WHERE PARAPETS OR CURBS ARE CONSTRUCTED ABOVE THE LEVEL OF THE ROOF, PROVISION SHALL BE MADE TO PREVENT RAIN WATER FROM ACCUMULATING ON THE ROOF IN EXCESS OF THAT CONSIDERATE IN THE DESIGN, IN THE EVENT THE RAIN WATER DRAINS, CONDUCTORS OR LEADERS BECOME CLOGGED. (B4403.6.1 ED. 2023).
- WHERE ROOFS ARE NOT DESIGNED IN ACCORDANCE WITH SECTION B4403.6.1, OVERFLOW DRAINS OR SCUPPERS SHALL BE PLACED TO PREVENT AN ACCUMULATION OF MORE THAN 5 INCHES OF WATER ON ANY PORTION OF THE ROOF. IN DETERMINING THE LOAD THAT COULD RESULT SHOULD THE PRIMARY DRAINAGE SYSTEM BE BLOCKED, THE LOADS CAUSED BY THE DEPTH OF WATER (i.e., HEAD) NEEDED TO CAUSE THE WATER TO FLOW OUT THE SCUPPERS OR SECONDARY DRAINAGE SYSTEM SHALL BE INCLUDED. (F.B.C. B4403.6.2 ED. 2023).
- DRAINS OR SCUPPERS INSTALLED TO PROVIDE OVERFLOW DRAINAGE SHALL BE NOT LESS IN AGGREGATE AREA THAN AS SHOWN IN FIGURE B4403.6.3, BUT NOT LESS THAN 4 INCHES DIMENSION IN ANY DIRECTION AND SHALL BE PLACED IN PARAPETS NOT LESS THAN 2 INCHES NO MORE THAN 4 INCHES ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE AND SHALL BE LOCATED AS CLOSE AS PRACTICAL TO REQUIRED VERTICAL LEADERS, CONDUCTORS OR DOWNSPOUTS. THE ROOF AREA TO BE COVERED BY THE SCUPPERS IS THE HORIZONTAL PROJECTION, EXCEPT THAT, WHERE A BUILDING WALL EXTENDS ABOVE THE ROOF IN SUCH A MANNER AS TO DRAIN INTO THE AREA CONSIDERED, THE ONE-HALF OF THE AREA VERTICAL WALL SHALL BE ADDED TO THE HORIZONTAL PROJECTION. (B4403.6.3 ED. 2023).
- ALL ROOFS SHALL BE DESIGNED WITH SUFFICIENT SLOPE OR CAMBER TO ASSURE ADEQUATE DRAINAGE AFTER THE LONG TERM DEFLECTION FROM DEAD LOAD, OR SHALL BE DESIGNED TO SUPPORT MAXIMUM LOADS INCLUDING POSSIBLE FLOODING OF WATER CAUSED BY DEFLECTION. (B4403.6.4 ED. 2023).
- WHEN OTHER MEANS OF DRAINAGE OF OVERFLOW WATER IS NOT PROVIDED, OVERFLOW SCUPPERS SHALL BE PLACED IN WALLS OF THE ROOF. SCUPPERS SHALL BE LOCATED AS CLOSE AS PRACTICAL TO REQUIRED VERTICAL LEADERS OR DOWNSPOUTS OR WALL AND PARAPET SCUPPERS. AN OVERFLOW SCUPPER SHALL BE SIZED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, PLUMBING (F.B.C. B903.4.1 ED. 2023).

AS PER SECTION 1616 FBC
HIGH VELOCITY HURRICANE ZONES
ROOF DRAINAGE

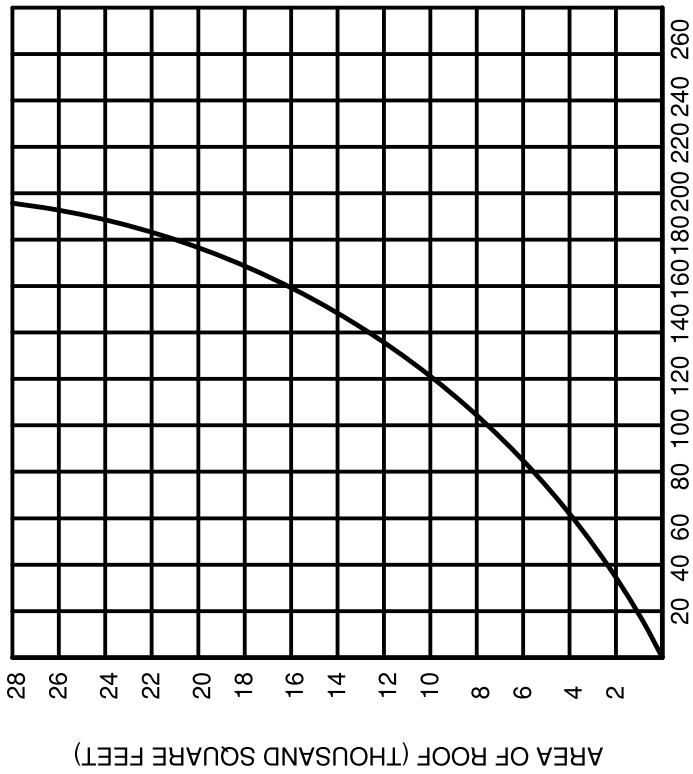
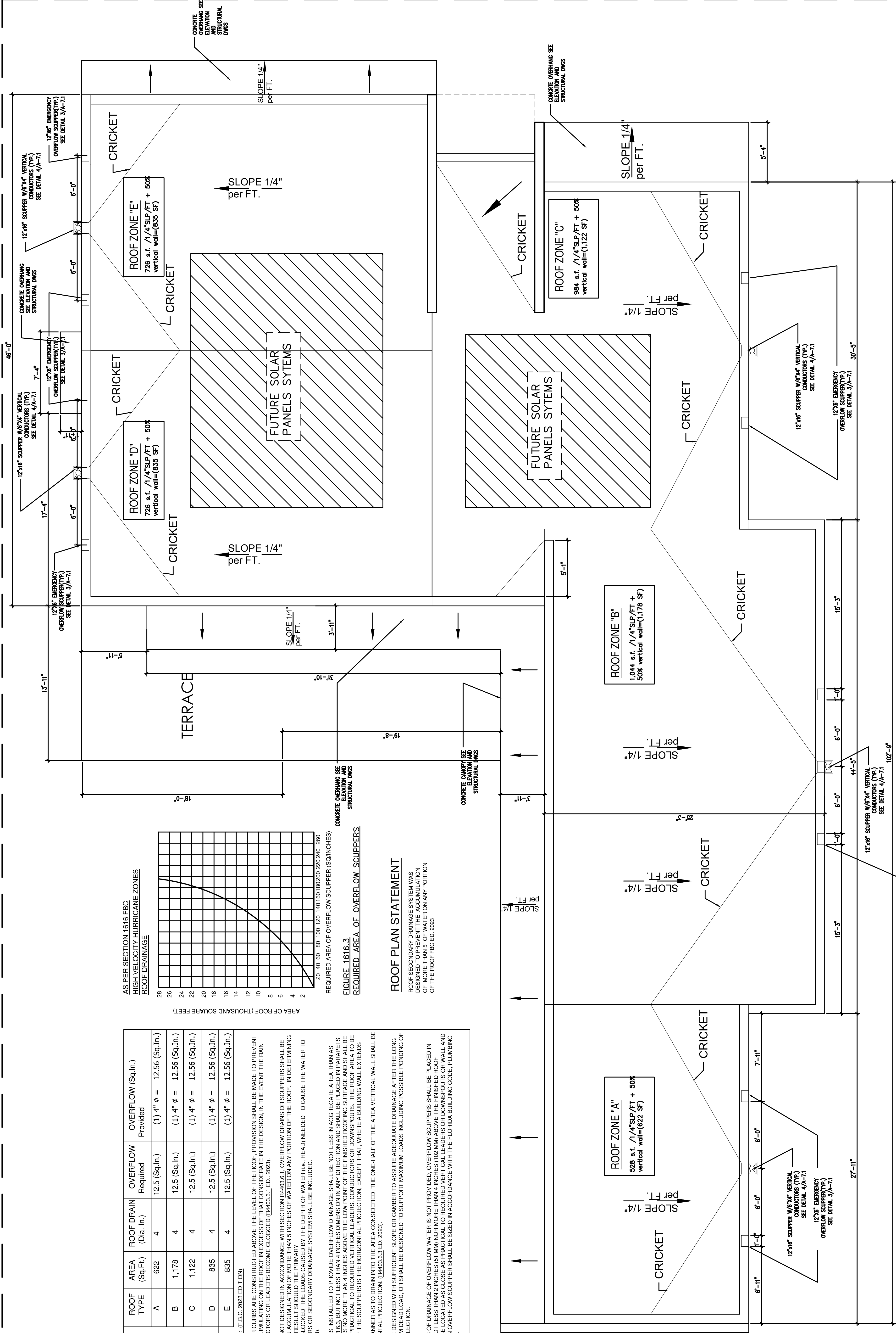


FIGURE 1616.3
REQUIRED AREA OF OVERFLOW SCUPPERS

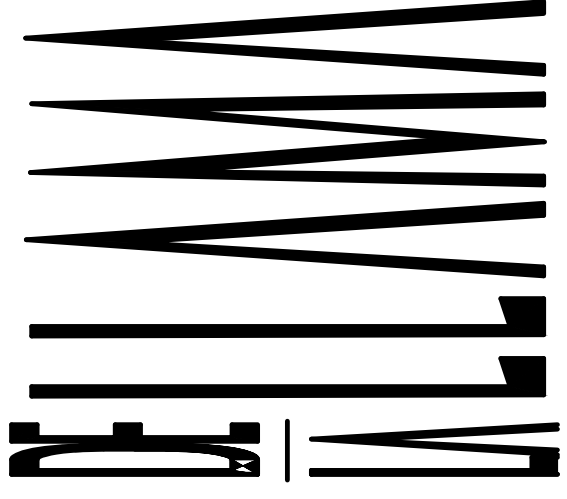
ROOF PLAN STATEMENT

ROOF SECONDARY DRAINAGE SYSTEM WAS DESIGNED TO PREVENT THE ACCUMULATION OF MORE THAN 5" OF WATER ON ANY PORTION OF THE ROOF FBC ED. 2023.



1 ROOF PLAN

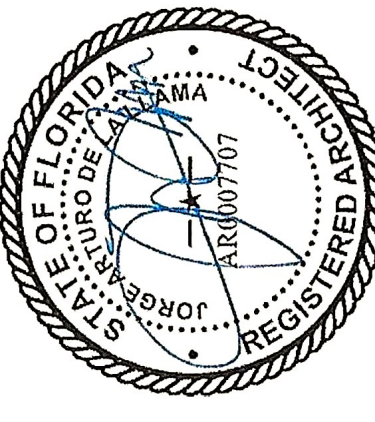
1/4" = 1'-0"



ARCHITECTURE
PLANNING
INTERIOR DESIGN

JORGE A. DE LA LLAMA
ARCHITECT
STATE OF COLORADO - ARC.0049538
523 ANDERSON CORRAL GABLES, FLORIDA 33124
(305) 567-1425 FAX
(305) 567-1590
EMAIL: JAD@ARCHDELA.COM

CONSULTANTS



JORGE A. DE LA LLAMA
STATE OF FLORIDA - ARCH.007707
STATE OF COLORADO - ARC.0049538

PROJECT NAME

P8 PINECREST EIGHT

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

NEW SINGLE FAMILY RESIDENCE

DATE

DEC 17, 2024

REVISION

DATE

BY

DRAWING NAME

ROOF PLAN

DESIGN BY:

ZECKY DA COSTA

DRAWN BY:

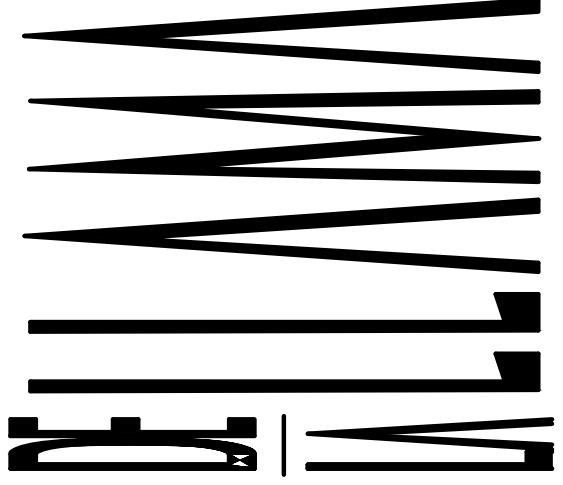
PAWLES TERRERO / HERMES PEREZ

SHEET NO.

A3.0



THE CONTENTS OF THIS DOCUMENT, INCLUDING ANY DRAWINGS, ARE THE SOLE PROPERTY OF DE LA LLAMA ASSOCIATES, INC. AND MAY NOT BE REPRODUCED IN ANY MANNER, IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF DE LA LLAMA ASSOCIATES, INC. A SCAFFOLD, INC. IS THE GENERAL CONTRACTOR AND ALL TRADES PERFORMING WORK ON THIS PROJECT SHALL BE EXCLUSIVELY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS WITH REFERRING AND DISCREPANCIES TO THE DE LA LLAMA ASSOCIATES, INC. BEFORE COMMENCING ANY WORK.



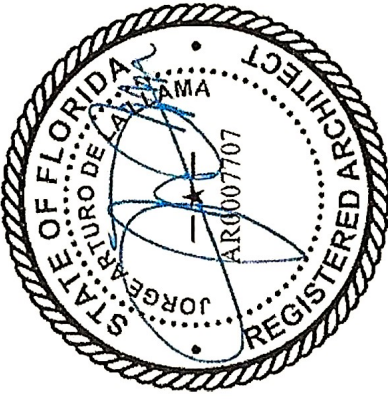
ARCHITECTURE
PLANNING
INTERIOR DESIGN

JORGE A. DE LA LLAMA

STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC-0004338

522 MADDERA CORAL GABLES, FLORIDA 33134
(305) 1461-5590 (305) 1507-1425 FAX
EMAIL: JALLA@DELLA.COM

CONSULTANTS



JORGE A. DE LA LLAMA

STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC-0004338

PROJECT NAME

P8 PINECREST EIGHT

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

NEW SINGLE FAMILY RESIDENCE

DATE

DEC 17, 2024

REVISION

DATE

BY

DRAWING NAME

GROUND FLOOR REFLECTED CEILING PLAN

DESIGN BY:

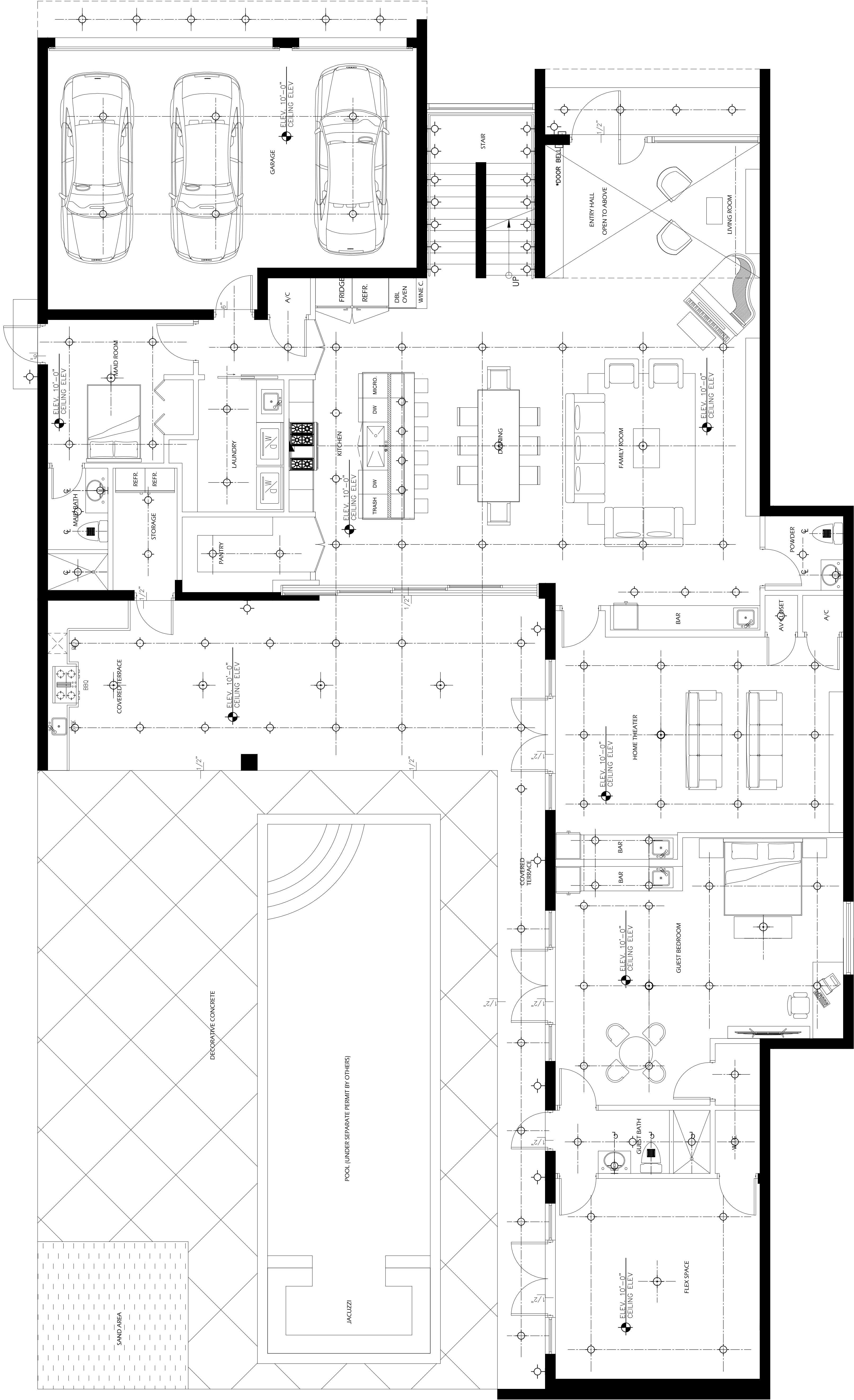
ZECKY DA COSTA

DRAWN BY:

RANSES TERRERO / HERMES PEREZ

SHEET NO.

A-3.1



DRAWING LEGEND:

- PRO CHANDELIER
- CEILING LIGHT (REGULAR)
- WALL LIGHTS
- EXHAUST FAN
- JUNCTION BOX

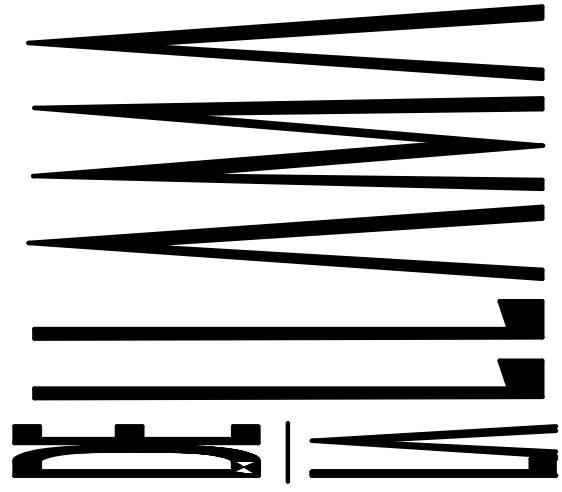
NOTE:

ALL FLOOR AND CEILING ELEVATIONS W/ AFF
CORRESPOND TO FINISH FLOOR LEVEL

1 GROUND FLOOR RCP

1/4" = 1'-0"





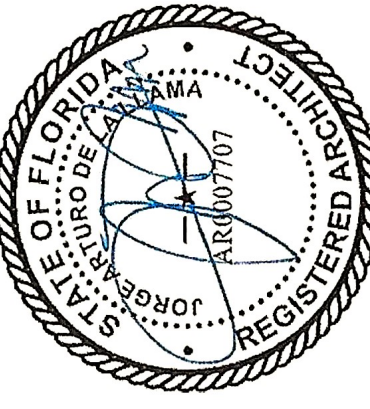
ARCHITECTURE
PLANNING
INTERIOR DESIGN

JORGE A. DE LA LLAMA

STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC-0004538

522 MADRID CORAL GABLES, FLORIDA 33134
(305) 161-1590 (305) 162-1425 FAX
EMAIL: JALLA@DELLA.COM

CONSULTANTS



JORGE A. DE LA LLAMA
STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC-0004538

PROJECT NAME

P8
PINECREST
EIGHT

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

NEW SINGLE FAMILY
RESIDENCE

DATE

DEC 17, 2024

REVISION

DATE

BY

DRAWING NAME

SECOND FLOOR
REFLECTED
CEILING PLAN

DESIGN BY:

ZECKY DA COSTA

DRAWN BY:

RAMSES TERRERO / HERMES PEREZ

SHEET NO.

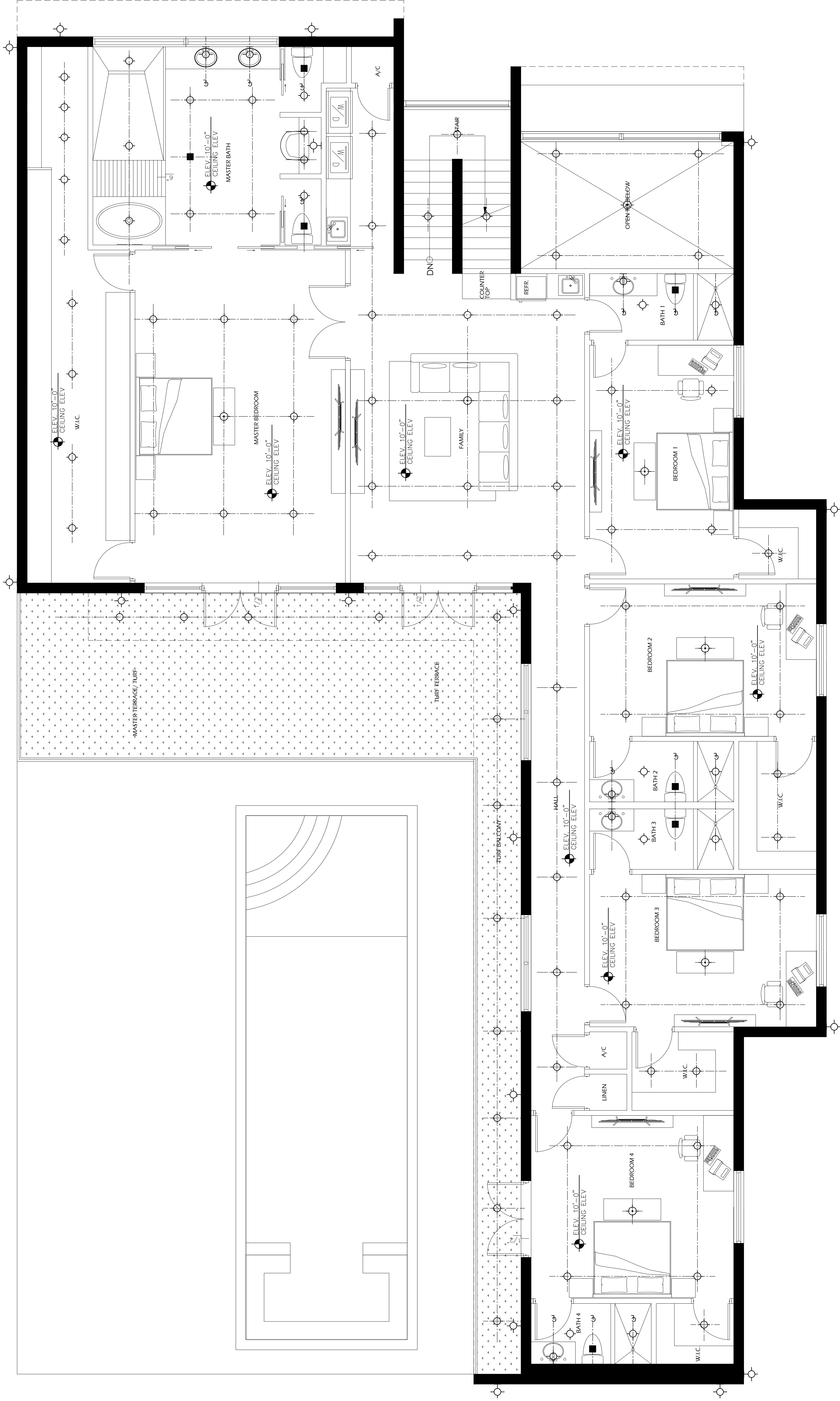
A3.2

DRAWING LEGEND:

- PRO CHANDELIER
- CEILING LIGHT (REGULAR)
- WALL LIGHTS
- EXHAUST FAN
- JUNCTION BOX

NOTE:

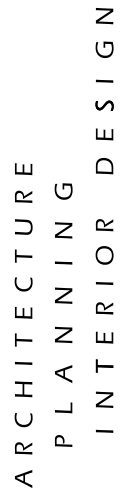
ALL FLOOR AND CEILING ELEVATIONS W/ AFF
CORRESPOND TO FINISH FLOOR LEVEL



1 SECOND FLOOR RCP

1/8" = 1'-0"

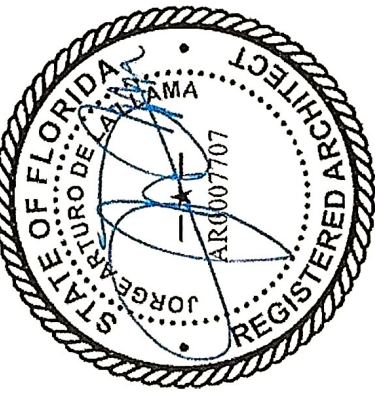




JORGE A. DE LA LLAMA
STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC.00404538

522 MADEIRA CORAL GABLES, FLORIDA 33134
 (305) 461-5590 (305) 567-1425 FAX
 EMAIL: JADLLARCH@AOL.COM

CONSULTANTS



JORGE A. DE LA LLAMA

PROJECT NAME

P8
PINECREST
EIGHT

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

NEW SINGLE FAMILY RESIDENCE

DATE
DEC 17, 2024

REVISION	DATE	BY
----------	------	----

REVISION	DATE	BY
----------	------	----

REVISION	DATE	BY
----------	------	----

REVISION	DATE	BY
----------	------	----

REVISION	DATE	BY
----------	------	----

REVISION	DATE	BY
----------	------	----

REVISION	DATE	BY
----------	------	----

REVISION	DATE	BY
----------	------	----

REVISION	DATE	BY
----------	------	----

NORTH ELEVATION

2

DRAWTING NAME

EXTERIOR ELEVATIONS

DESIGN BY:
ZECKY DA COSTA

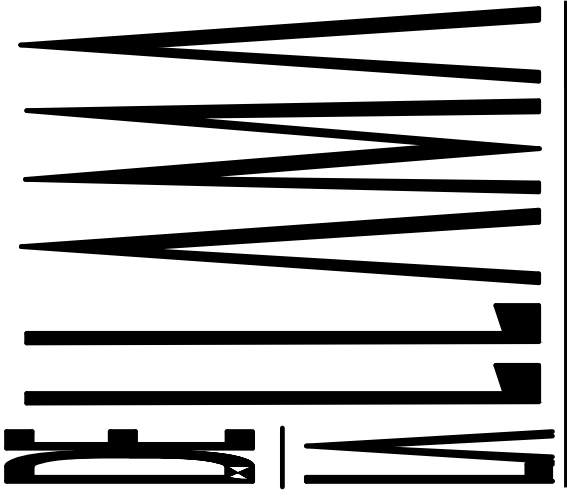
ZECKY DA COSTA

DRAWN BY:

SHEET NO.

A-4.0

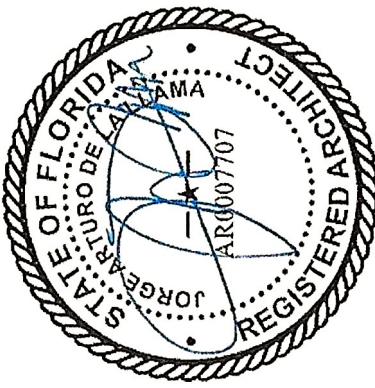
THE CONTENTS OF THIS DOCUMENT ARE THE SOLE PROPERTY OF DE LA LLAMA ARCHITECTURE, P.C. AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF DE LA LLAMA ARCHITECTURE, P.C. THE GENERAL CONTRACTOR AND ALL TRADES PERFORMING WORK ON THIS PROJECT SHALL BE EXCLUDED RESPONSIBLE FOR OBTAINING ALL DIMENSIONS AND CONDITIONS WITH RESPECT TO THE DE LA LLAMA ASSOCIATES, INC. BEFORE COMMENCING ANY WORK.



ARCHITECTURE
PLANNING
INTERIOR DESIGN

JORGE A. DE LA LLAMA
REGISTERED ARCHITECT
STATE OF COLORADO - ARC00494538
5327 ANDERBA CORAL GABLES, FLORIDA 33134
(305) 145-5590 (305) 567-1425 FAX
EMAIL: JADLLARCH@AOL.COM

CONSULTANTS



JORGE A. DE LA LLAMA
REGISTERED ARCHITECT
STATE OF FLORIDA - ARCH07107
STATE OF COLORADO - ARC00494538

PROJECT NAME

P8 PINECREST EIGHT

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

NEW SINGLE FAMILY RESIDENCE

DATE

DEC 17, 2024

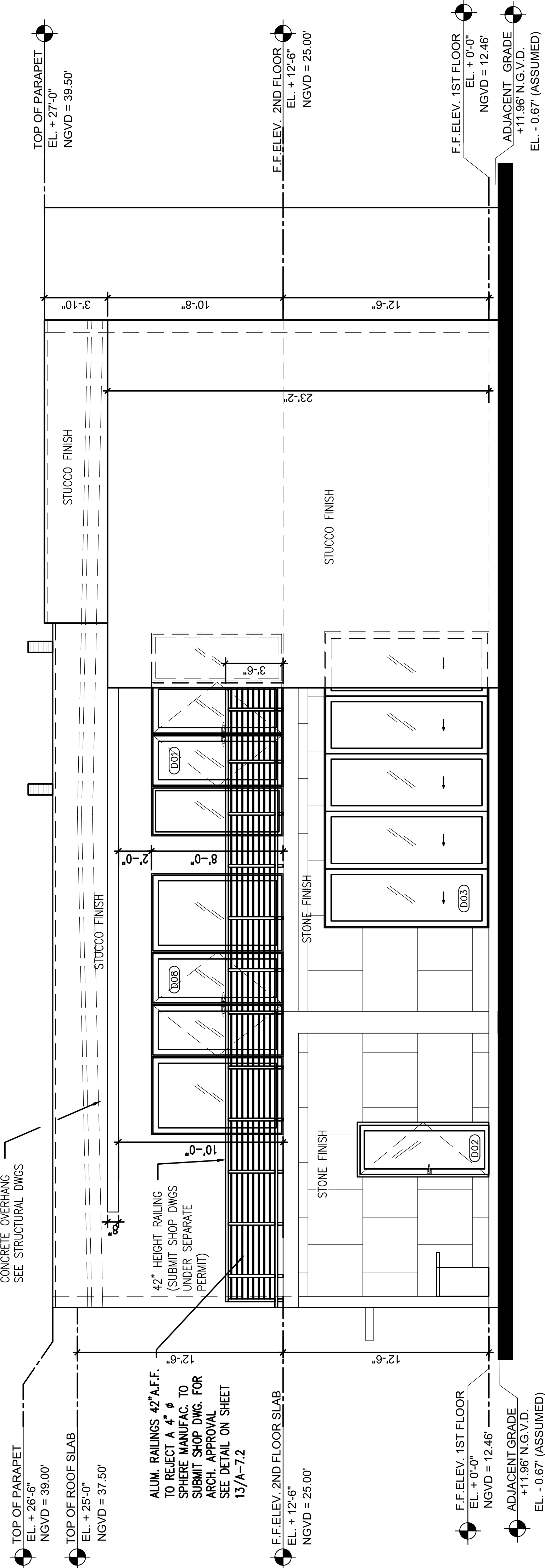
REVISION

DATE

BY

3 EAST ELEVATION

1/4" = 1'-0"



3

CONCRETE OVERHANG
SEE STRUCTURAL DWGS

TOP OF PARAPET
EL. + 27'-0"
NGVD = 39.50'

STUCCO FINISH

TOP OF ROOF SLAB
EL. + 23'-8"
NGVD = 36.20'

ALUM. RAILINGS 42" A.F.F.
TO REFLECT A 4" Ø
SPHERE MANUFAC. TO
SUBMIT SHOP DWG. FOR
ARCH. APPROVAL
SEE DETAIL ON SHEET
13/A-7.2

STUCCO FINISH

CONCRETE OVERHANG
SEE STRUCTURAL DWGS

STUCCO FINISH

F.F.ELEV. 2ND FLOOR SLAB
EL. + 12'-6"
NGVD = 25.00'

F.F.ELEV. 1ST FLOOR
EL. + 0'-0"
NGVD = 12.46'

ADJACENT GRADE
+11.96' N.G.V.D.
EL. - 0.67' (ASSUMED)

4

4 SOUTH ELEVATION

1/4" = 1'-0"

CONCRETE OVERHANG
SEE STRUCTURAL DWGS

TOP OF PARAPET
EL. + 27'-0"
NGVD = 39.50'

STUCCO FINISH

TOP OF ROOF SLAB
EL. + 23'-8"
NGVD = 36.20'

ALUM. RAILINGS 42" A.F.F.
TO REFLECT A 4" Ø
SPHERE MANUFAC. TO
SUBMIT SHOP DWG. FOR
ARCH. APPROVAL
SEE DETAIL ON SHEET
13/A-7.2

STUCCO FINISH

CONCRETE OVERHANG
SEE STRUCTURAL DWGS

STUCCO FINISH

F.F.ELEV. 2ND FLOOR SLAB
EL. + 12'-6"
NGVD = 25.00'

F.F.ELEV. 1ST FLOOR
EL. + 0'-0"
NGVD = 12.46'

ADJACENT GRADE
+11.96' N.G.V.D.
EL. - 0.67' (ASSUMED)

4

EXTERIOR ELEVATIONS

DESIGNED BY:

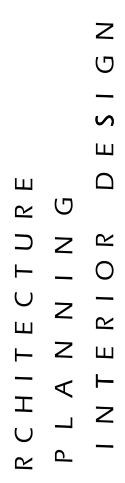
ZECKY DA COSTA

DRAWN BY:

RAMSES TERRERO / HERNES PEREZ

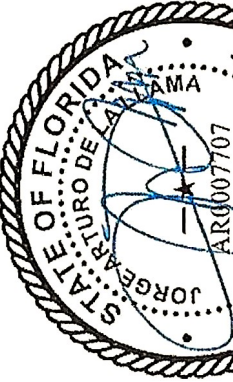
SHEET NO.

A-4.1



522 MADEIRA CORAL GABLES, FLORIDA 33134
(305) 461-5590 (305) 567-1425 FAX
EMAIL: JADILARCH@AOL.COM

CONSULTANTS



JORGE A. DE LA LLAMA
STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC.00404538

PROJECT NAME

P8
PINECREST
EIGHT

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

NEW SINGLE FAMILY
RESIDENCE

DATE
DEC 17, 2024

REVISION	DATE	BY
----------	------	----

DRAWING NAME

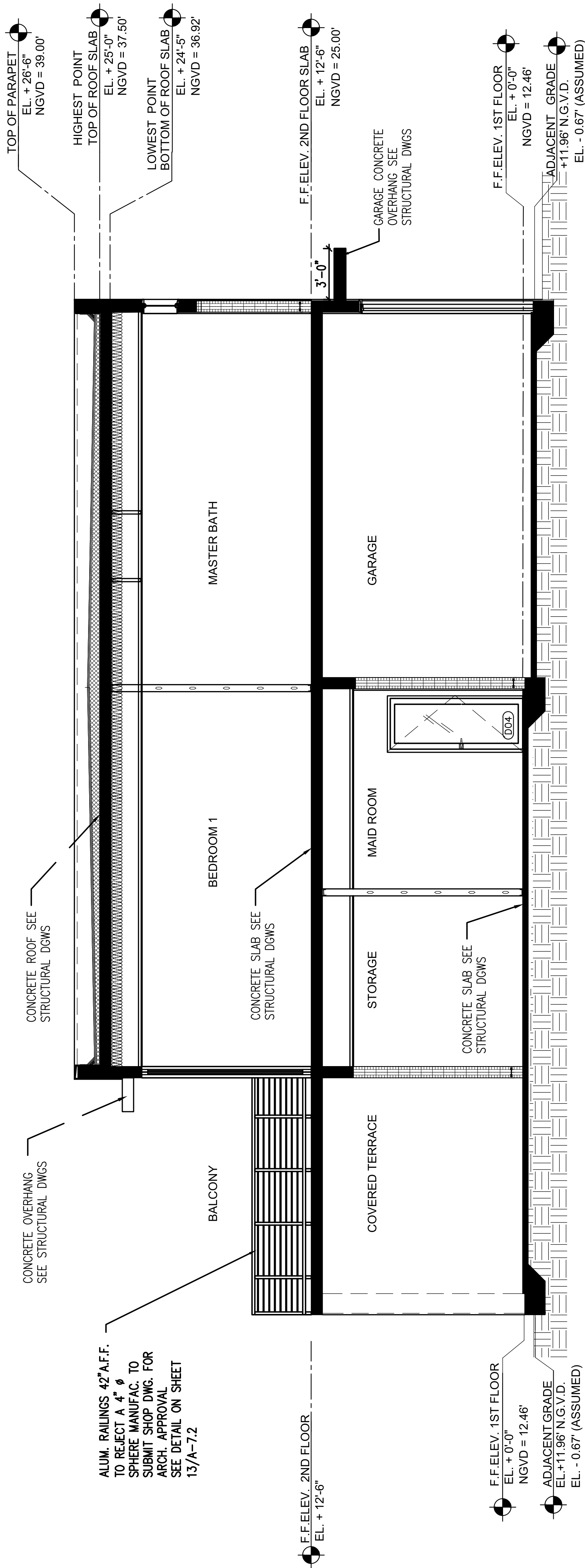
BUILDING SECTIONS

DESIGN BY:
ZECKY DA COSTA

DRAWN BY:
RAMSES TERRERO / HERMES PEREZ

SHEET NO.

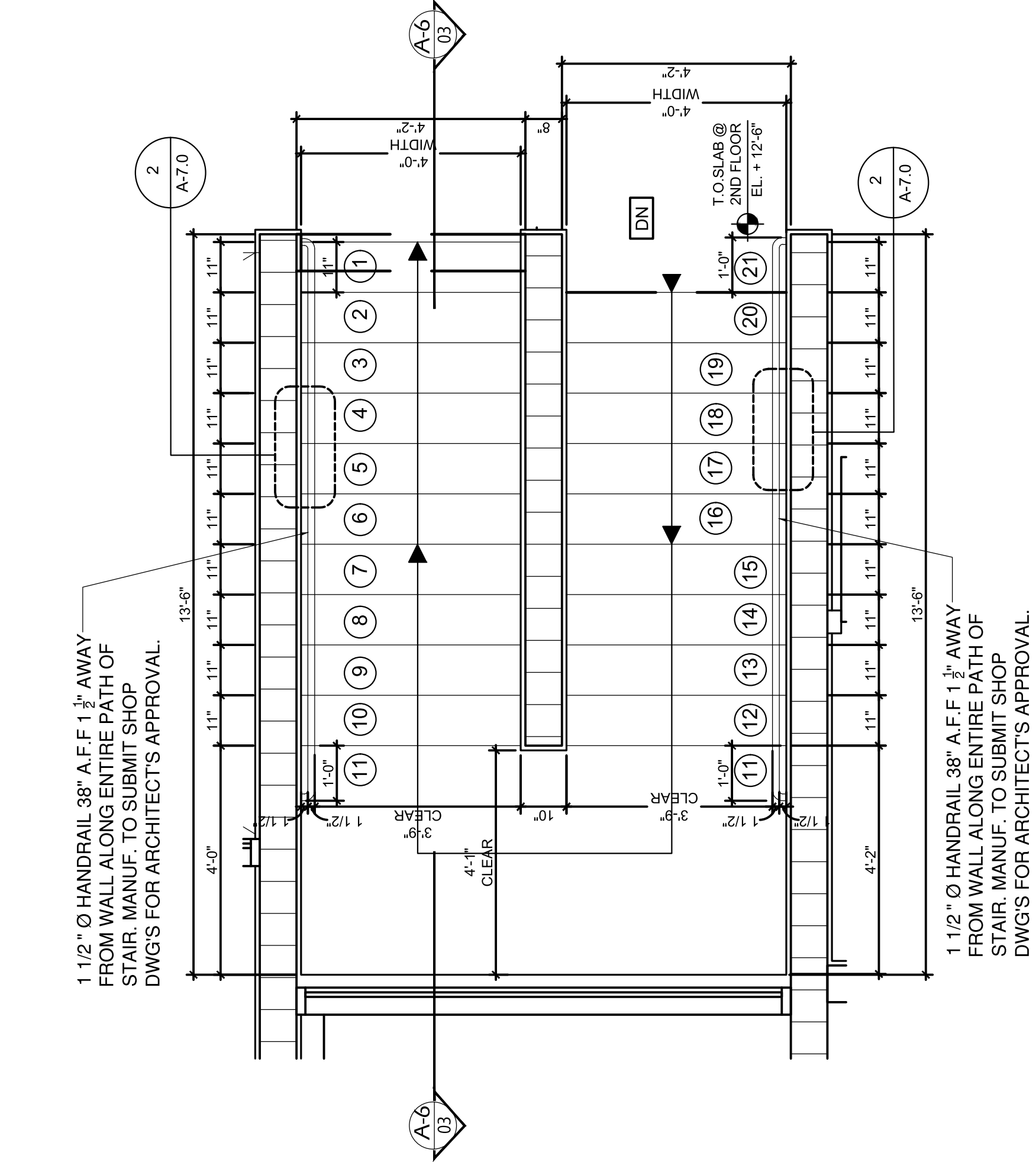
A-5.1



SECTION 3

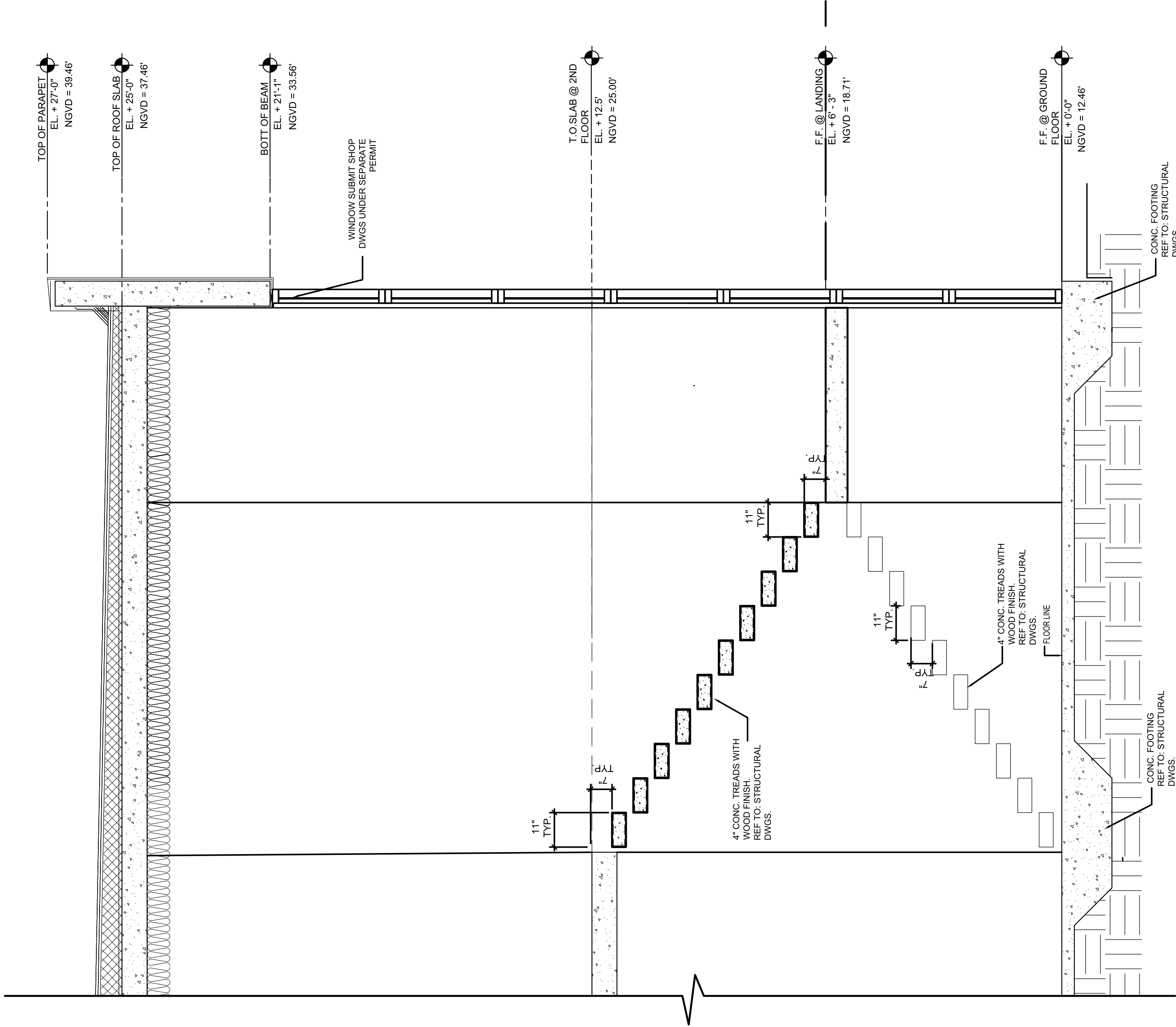
 $1/4" = 1'-0"$

THE OWNER OF THIS DOCUMENT, ITS DESIGNER AND CONTRACTOR, AND ANY SUBSIDIARIES, AGENTS, OR ASSOCIATES, SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE DESIGNER, CONTRACTOR, AND ANY SUBSIDIARIES, AGENTS, OR ASSOCIATES, SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE DESIGNER, CONTRACTOR, AND ANY SUBSIDIARIES, AGENTS, OR ASSOCIATES, SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.



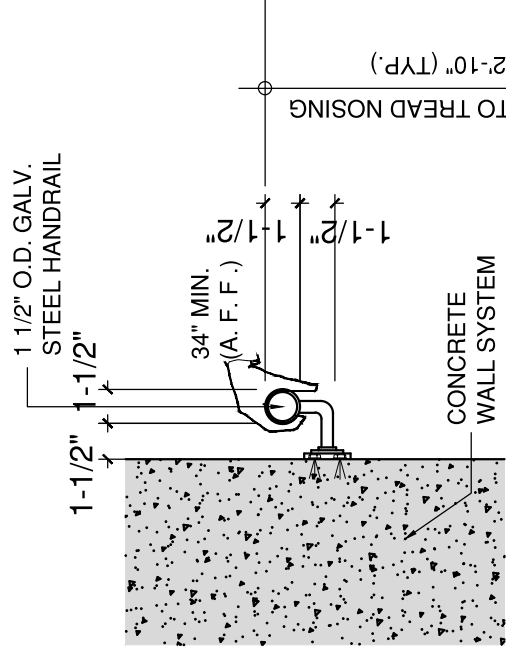
1 STAIR - SECOND FLOOR PLAN

1/2" = 1'-0"



3 STAIR - SECTION A

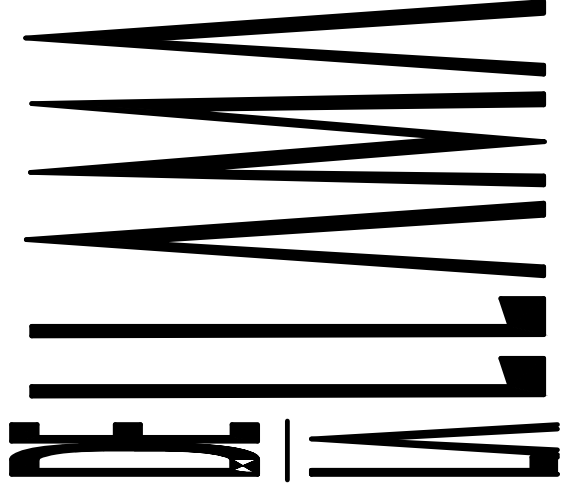
1/2" = 1'-0"



HANDRAIL HEIGHT SHALL BE 34" A.F.F. 1 1/2" AWAY FROM THE WALL ALONG THE ENTIRE PATH OF THE STAIR, MANIFOLD, TO SUBMIT SHOP DWGS FOR ARCHITECT'S APPROVAL.

5 HANDRAIL DETAIL

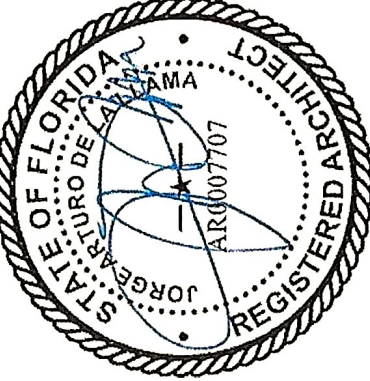
A-12 N.T.S.



ARCHITECTURE
PLANNING
INTERIOR DESIGN

JORGE A. DE LA LLAMA
ARCHITECT
STATE OF COLORADO - ARC0044538
522 ANDREA CORAL GABLES, FLORIDA 33134
(305) 461-5590 | (305) 567-1425 FAX
EMAIL: JADLLA@AOL.COM

CONSULTANTS



JORGE A. DE LA LLAMA
ARCHITECT
STATE OF COLORADO - ARC0044538

PROJECT NAME

P8
PINECREST
EIGHT

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

NEW SINGLE FAMILY
RESIDENCE

DATE

DEC 17, 2024

REVISION

DATE

BY

DRAWING NAME

STAIR DETAILS

DESIGNED BY:

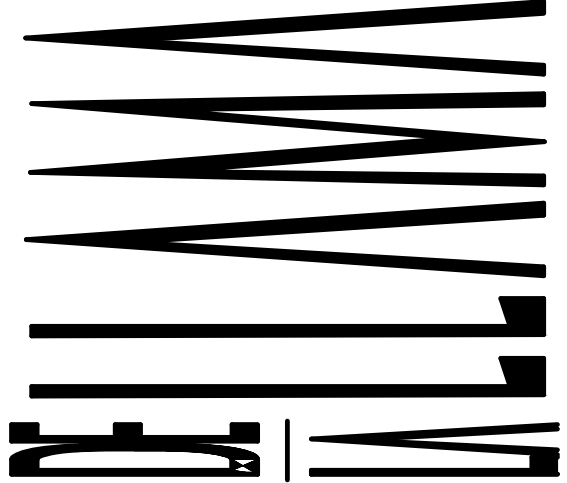
ZECKY DA COSTA

DRAWN BY:

RAMSES TERRERO / HERMES PEREZ

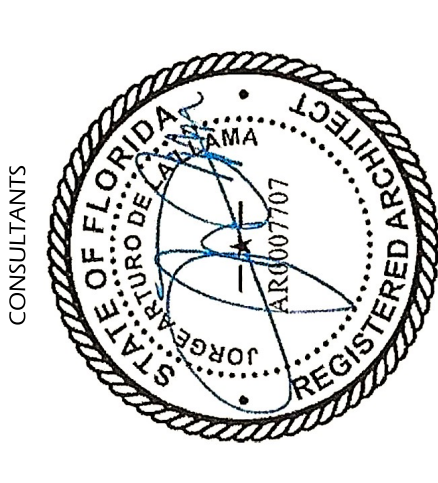
SHEET NO.

A7.0



ARCHITECTURE
PLANNING
INTERIOR DESIGN

JORGE A. DE LA LLAMA
PROFESSIONAL ENGINEER
STATE OF COLORADO - ARC00494538
527 ANDERSON CORRAL GABLES, FLORIDA 33134
(305) 461-5590 (305) 567-1425 FAX
EMAIL: JADL@ARCH@AOL.COM

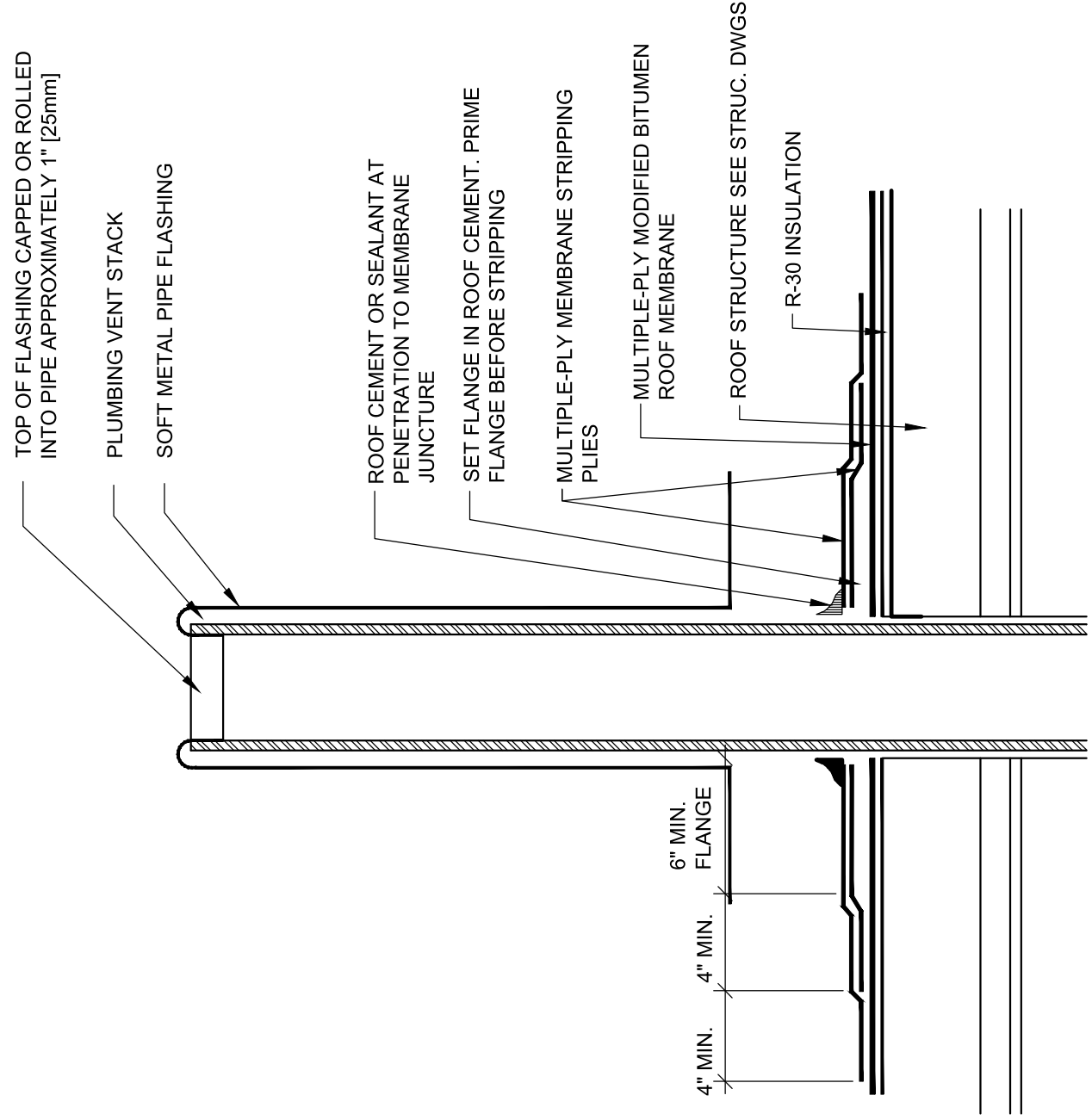


JORGE A. DE LA LLAMA
PROFESSIONAL ENGINEER
STATE OF FLORIDA - 13051
STATE OF COLORADO - ARC00494538

PROJECT NAME

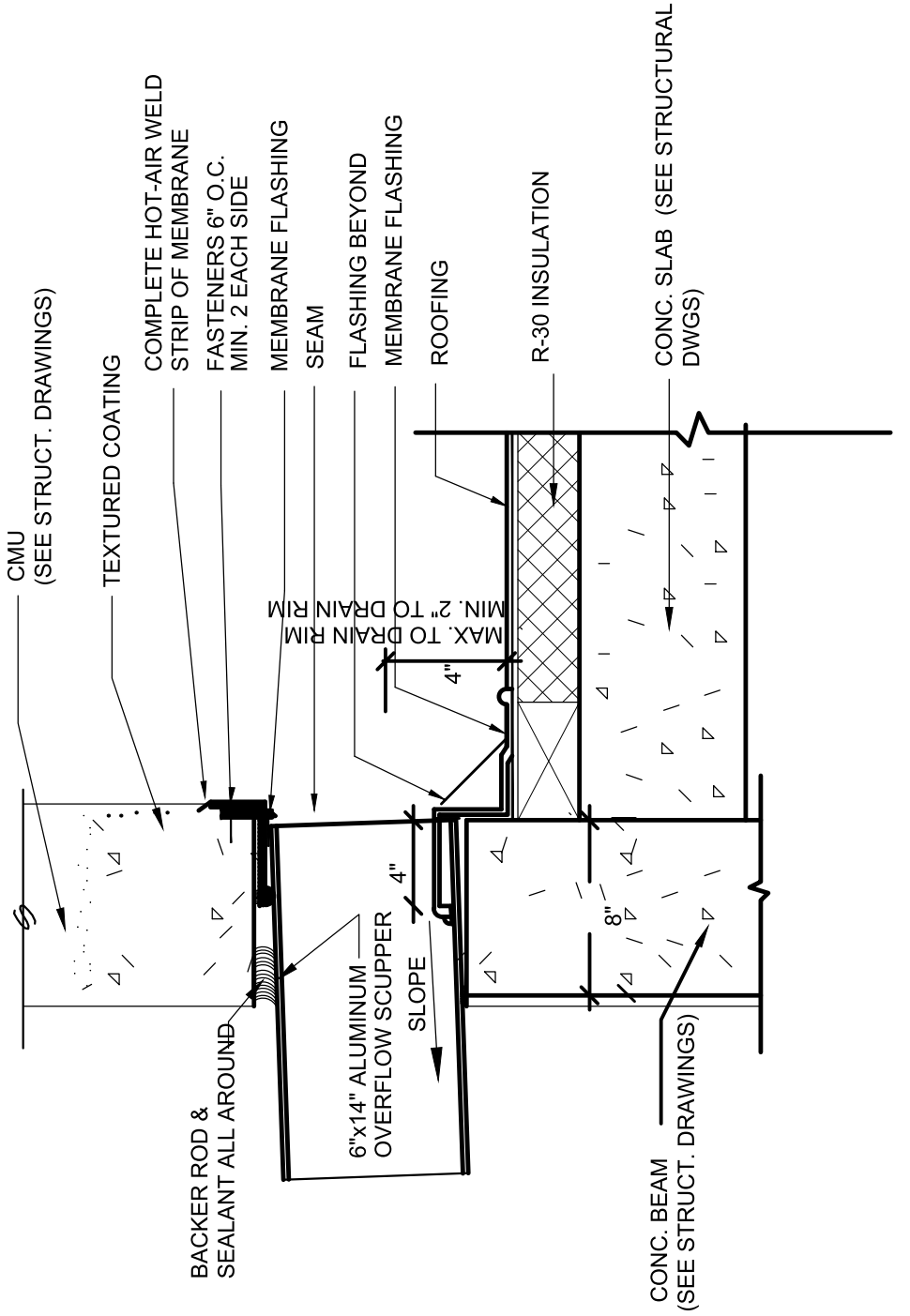
1 ROOF PLUMBING VENT

N.T.S.



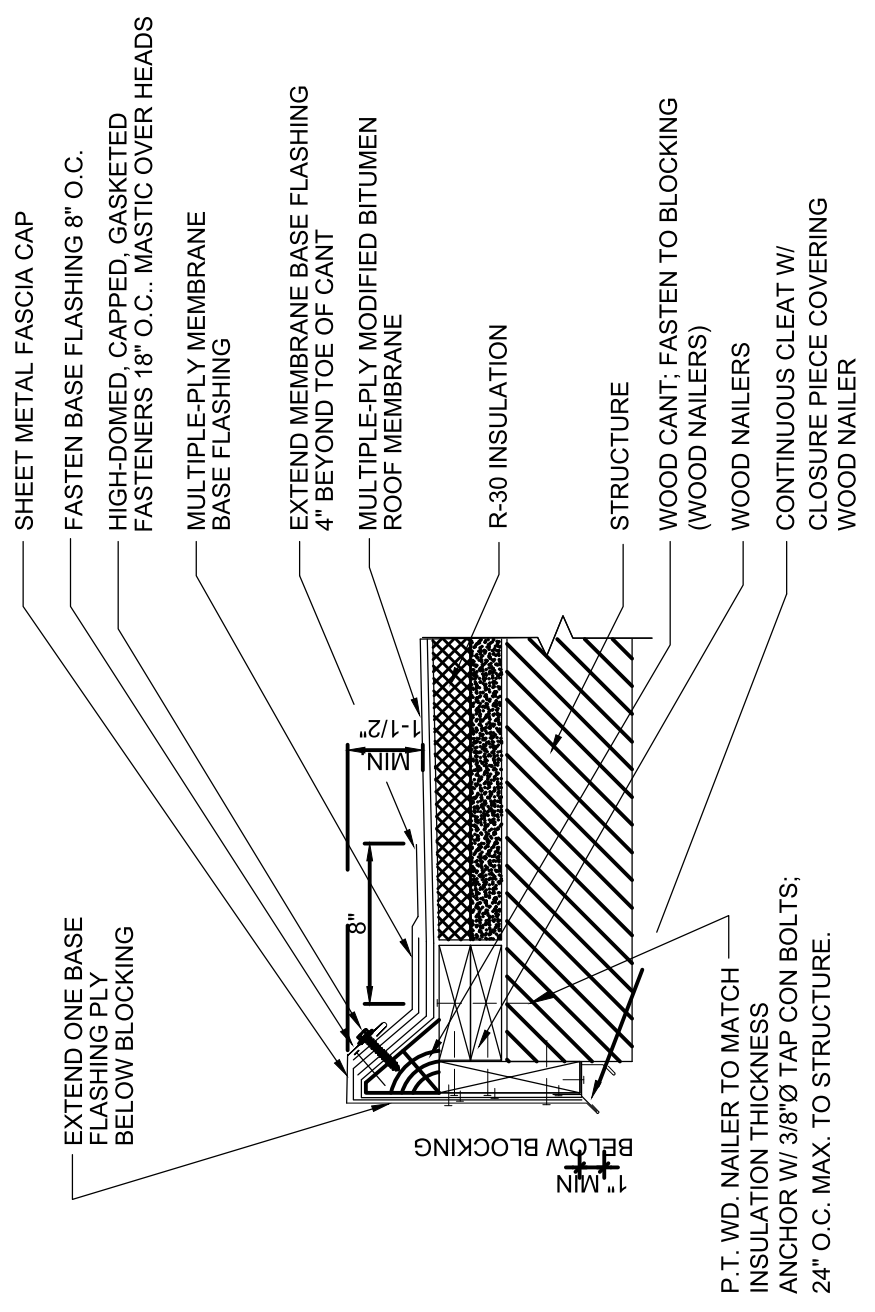
3 EMERGENCY OVERFLOW SCUPPER

N.T.S.



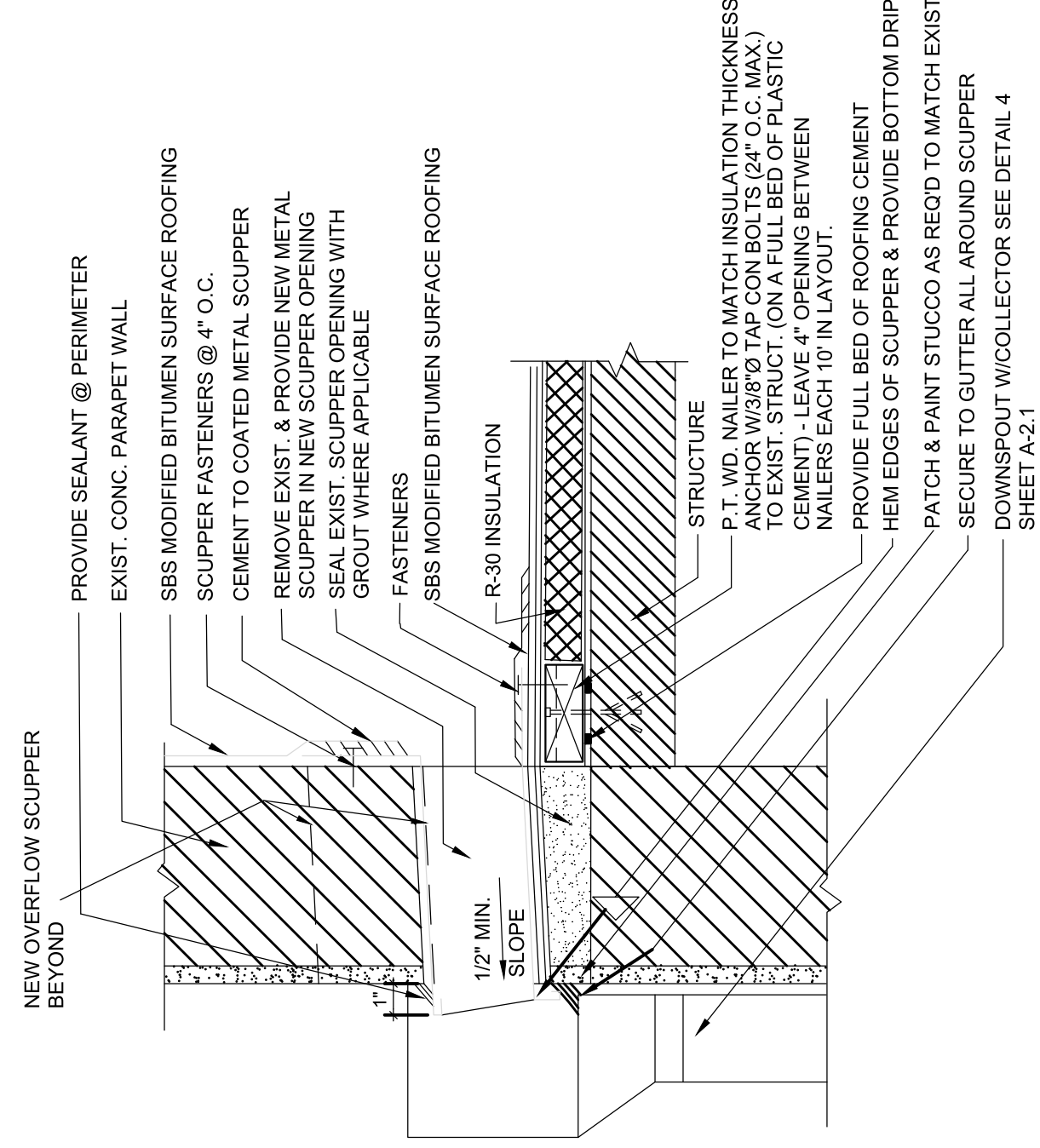
5 RAISED PERIMETER ROOF DETAIL

N.T.S.



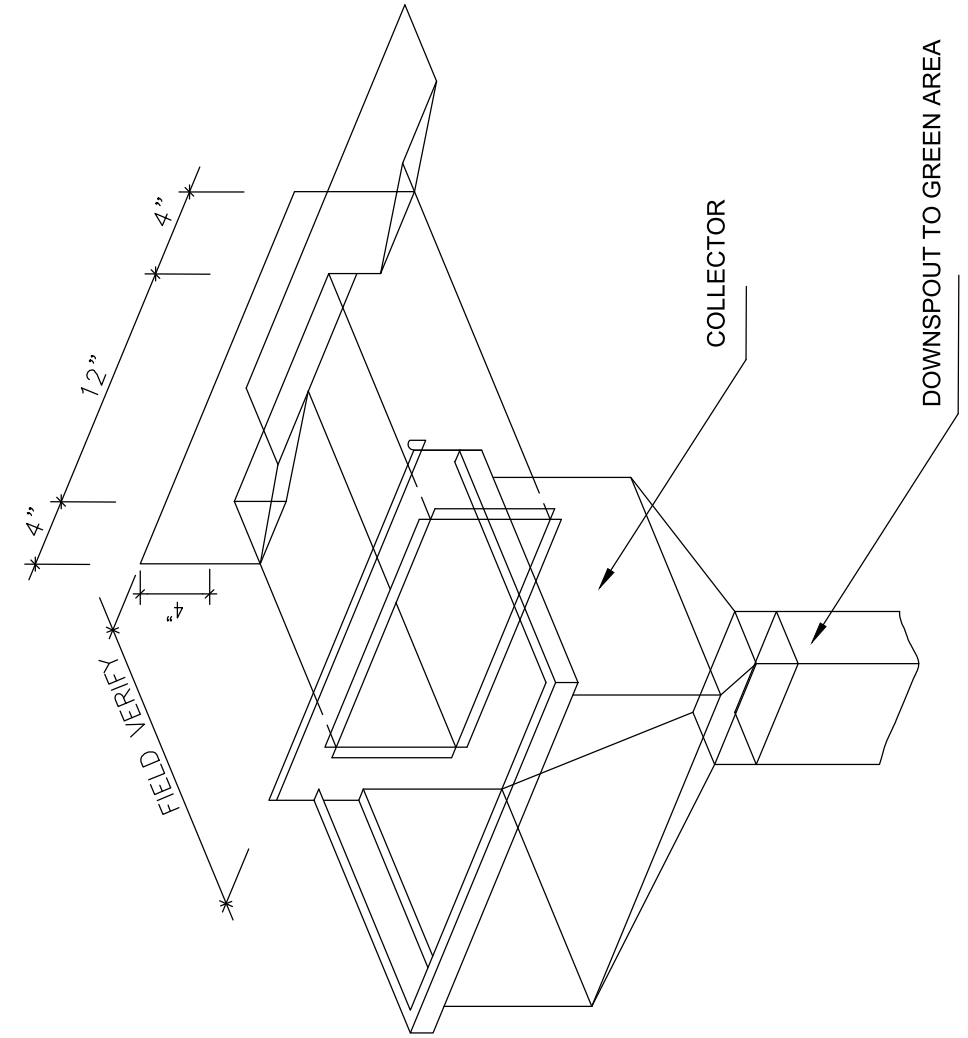
6 ROOF DRAINAGE DETAIL AT SCUPPER

N.T.S.



4 DOWNSPOUT DETAIL.

N.T.S.



2 NOT USED

N.T.S.

NEW SINGLE FAMILY
RESIDENCE

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

DATE
DEC 17, 2024

REVISION
DATE
BY

DRAWING NAME

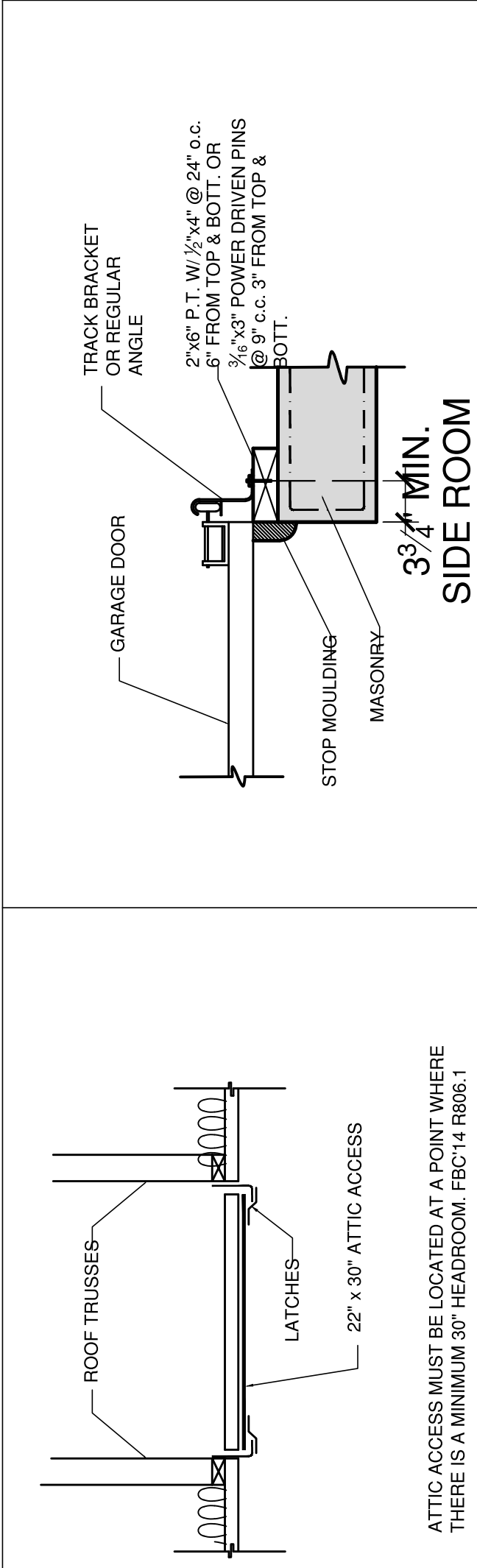
ROOF DETAILS

DESIGN BY:
ZECXY DA COSTA

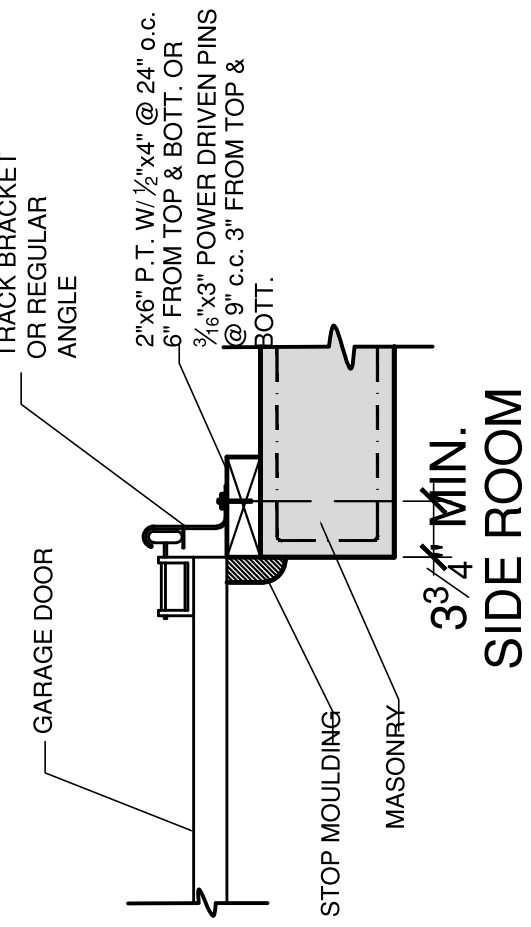
DRAWN BY:
RAMSES TERRERO / HERNES PEREZ

SHEET NO.

A-7.1

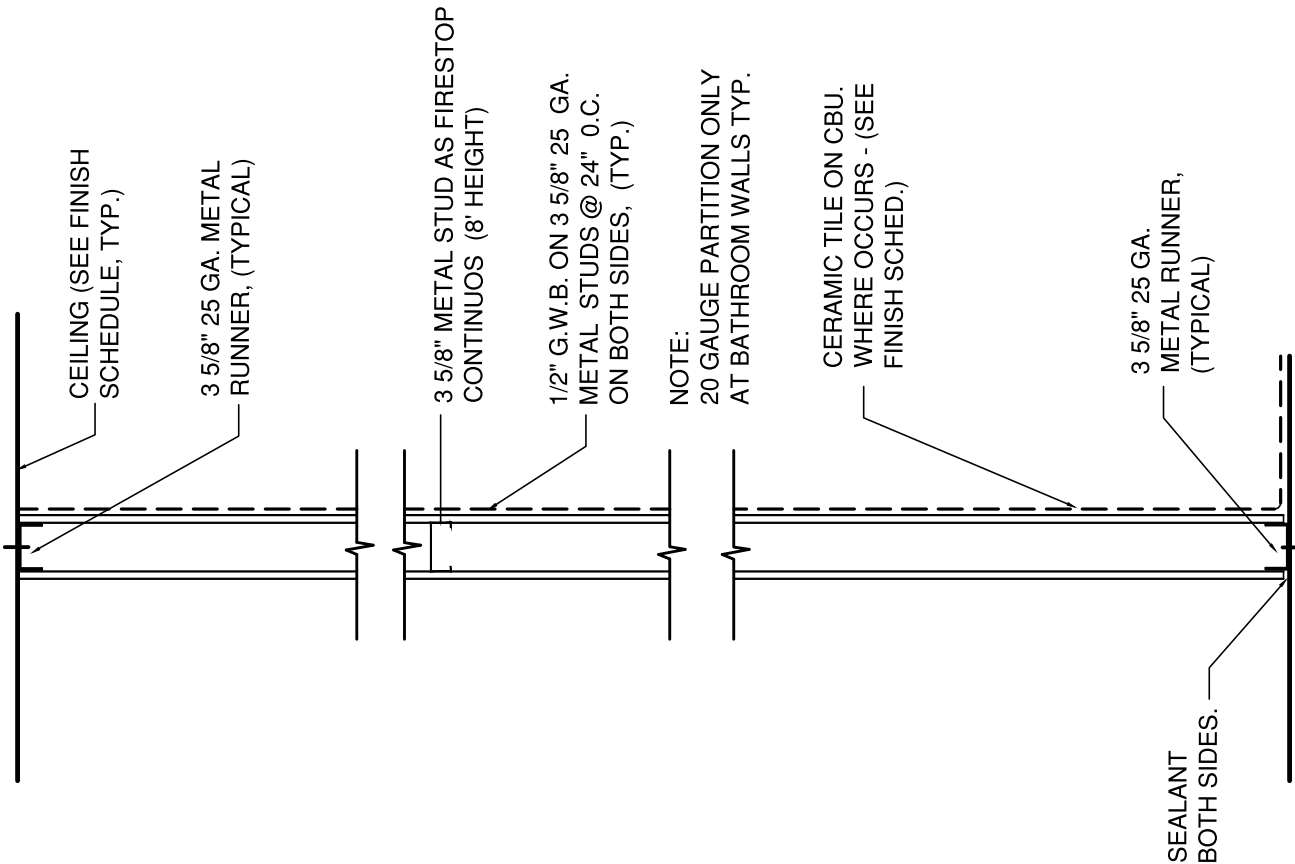


ATTIC ACCESS MUST BE LOCATED AT A POINT WHERE THERE IS A MINIMUM 30" HEADROOM. FBC14 R806.1



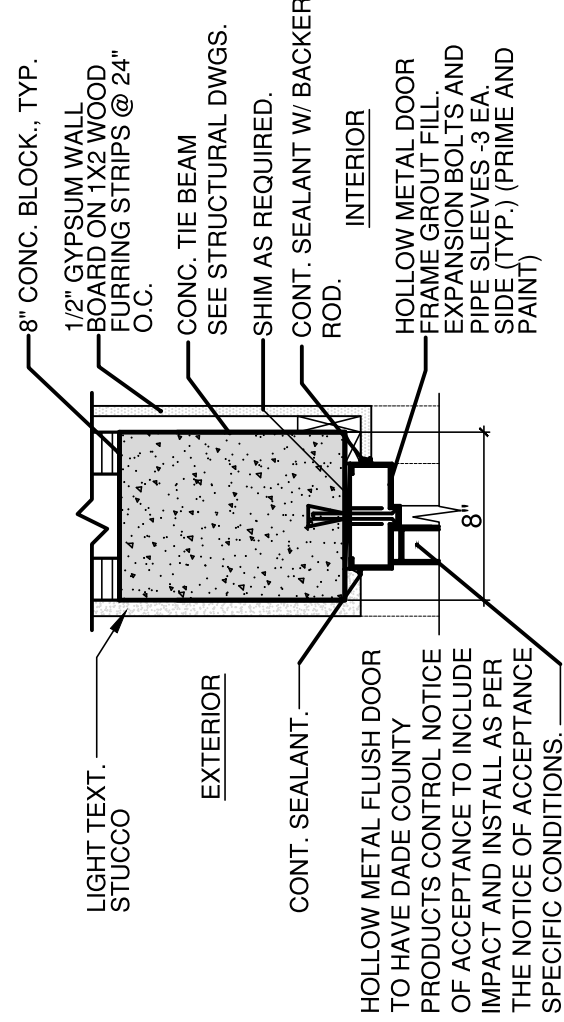
1 ATTIC ACCESS DETAIL

N.T.S. (FOR LOCATION SEE FLOOR PLAN)



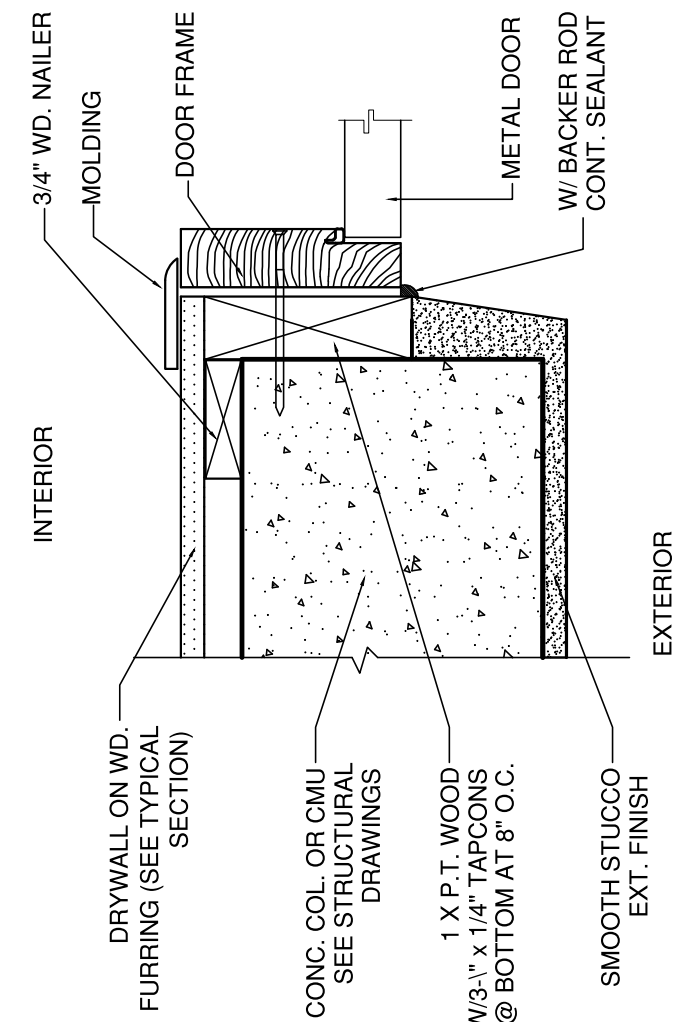
6 NON-RATED PARTITION

N.T.S.



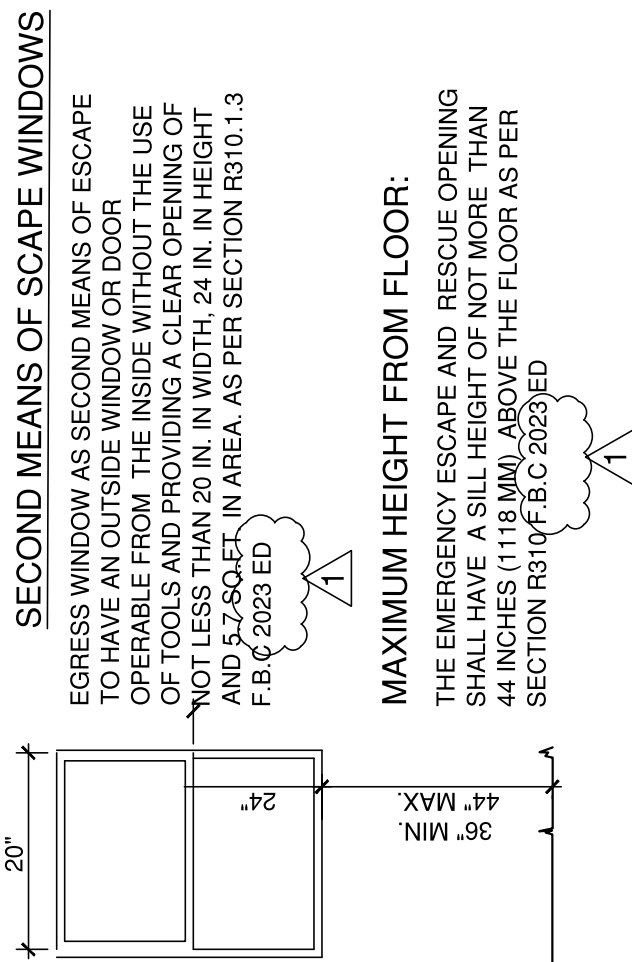
11 DOOR HEAD DETAIL

N.T.S.



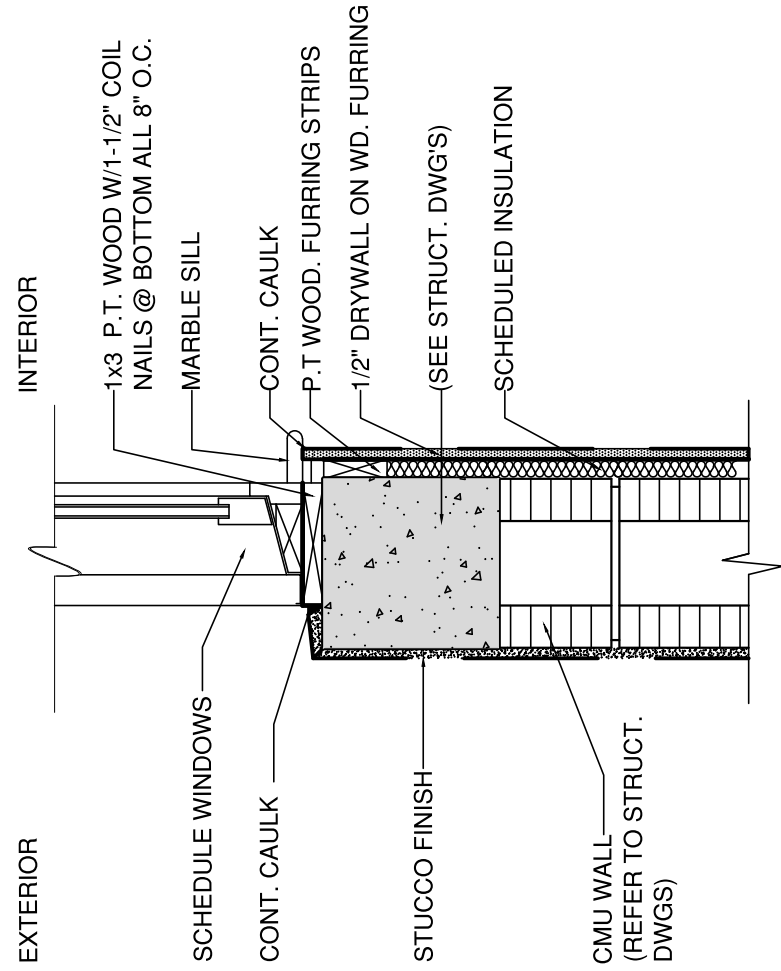
12 DOOR BUCK DETAIL

N.T.S.



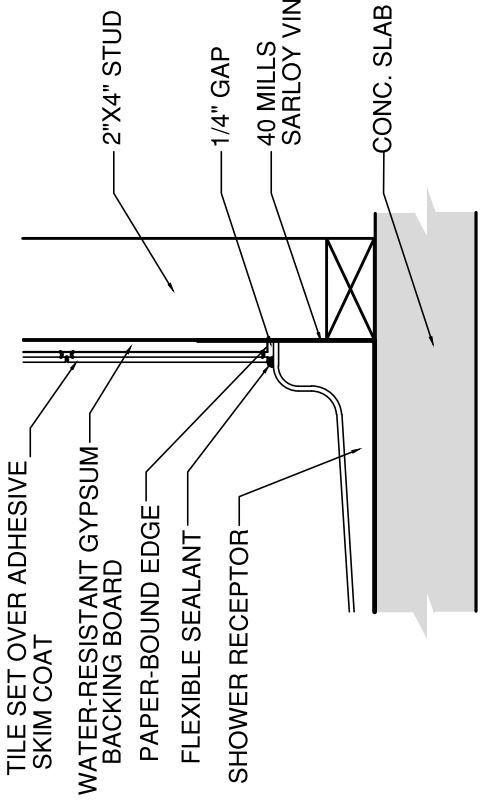
3 EGRESS WINDOW

N.T.S.



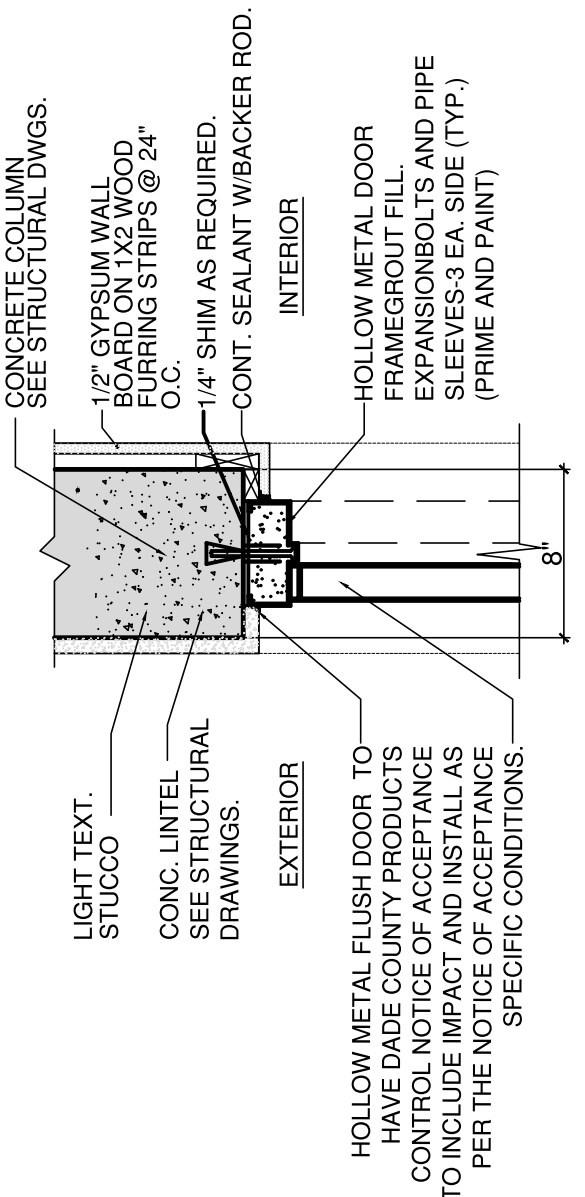
8 WINDOW SILL & ANCHOR DETAIL

N.T.S.



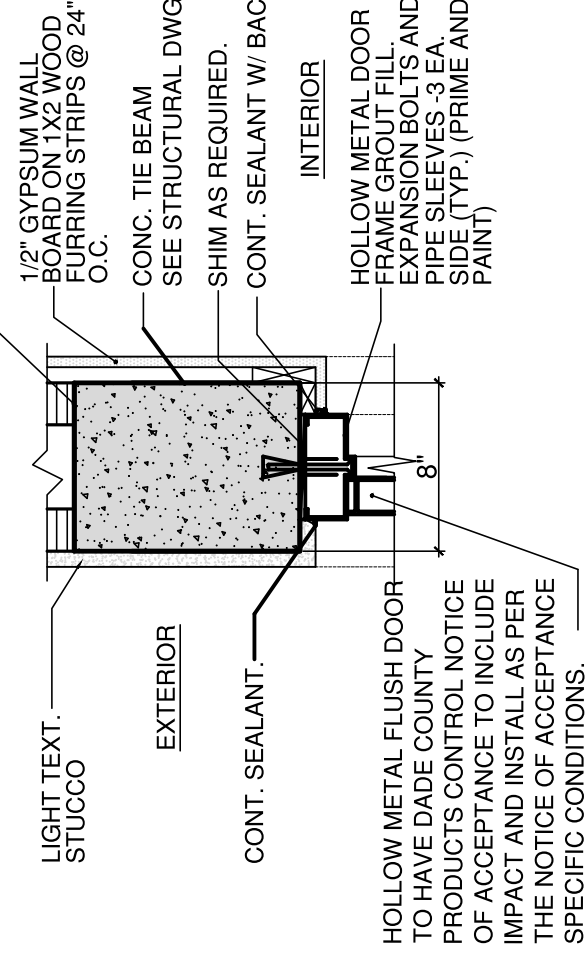
4 DOOR JAMB DETAIL

N.T.S.



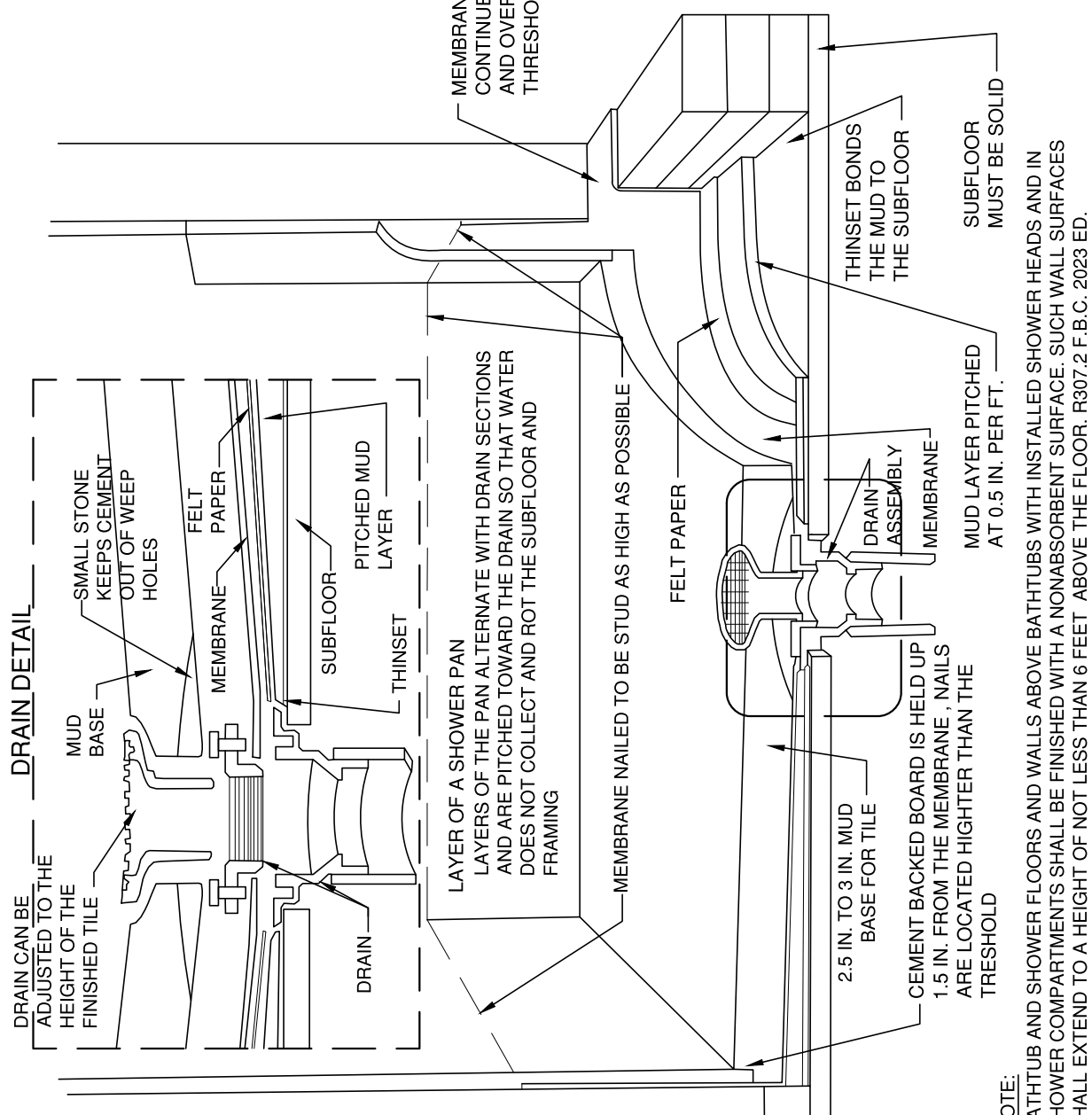
4 DOOR JAMB DETAIL

N.T.S.



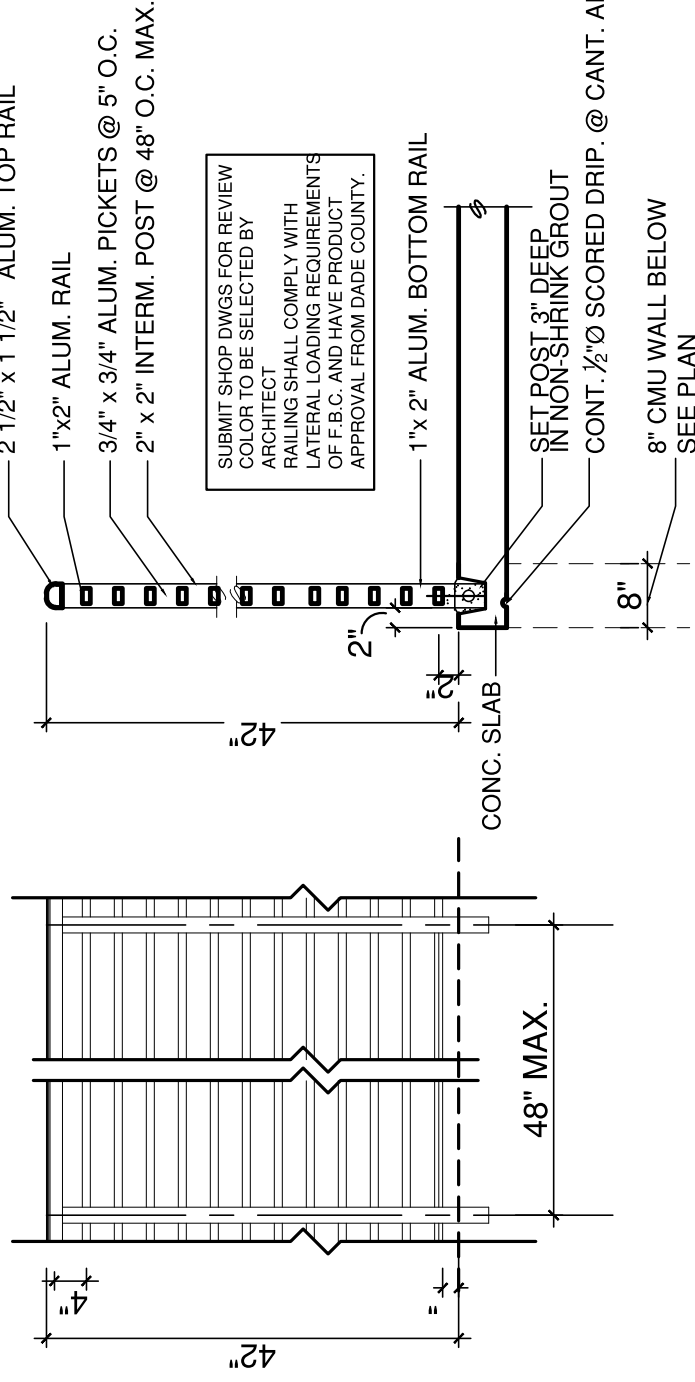
5 PRECAST WINDOWS ANCHOR DETAIL

N.T.S.



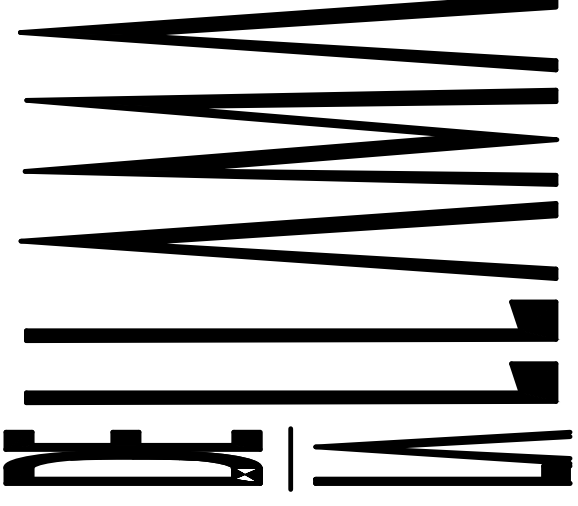
10 TYP. BATH LINER DETAIL

N.T.S.



13 RAILING DETAIL

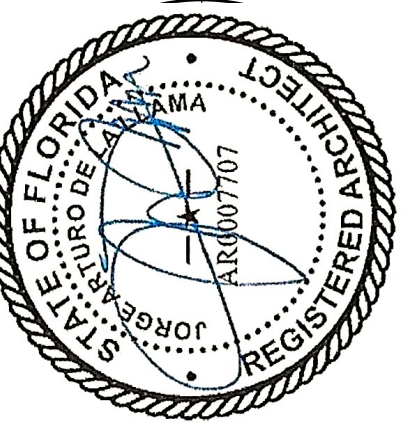
N.T.S.



ARCHITECTURE
PLANNING
INTERIOR DESIGN

JORGE A. DE LA LLAMA
ARCHITECT
STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC 0044538
522 MADIERA CORRAL GABLES - FLORENZA 33134
(305) 461-5590 (305) 567-1425 FAX
EMAIL: JAD@DLAARCHIT.COM

CONSULTANTS



JORGE A. DE LA LLAMA
ARCHITECT
STATE OF FLORIDA - AR0007707
STATE OF COLORADO - ARC 0044538

PROJECT NAME

P8
PINECREST
EIGHT

13100 SW 80TH AVE
PINECREST, FLORIDA 33156

FILE NAME

JUNCO
RESIDENCE

DATE
DEC 16, 2024

REVISION
BY
DATE
3-20-25 REVISION

DRAWING NAME

DETAILS

DESIGN BY:
ZECKY DA COSTA
DRAWN BY:
HUMBERTO LANTIGUA
SHEET NO.

A-7.2

