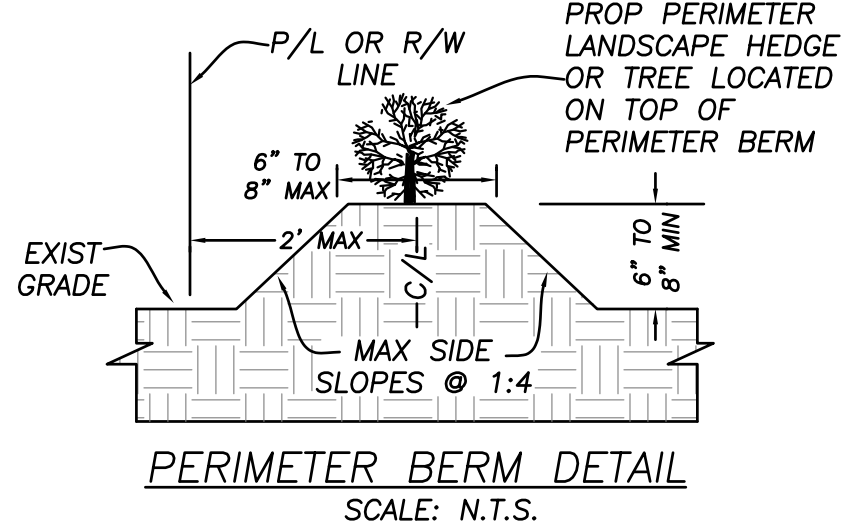
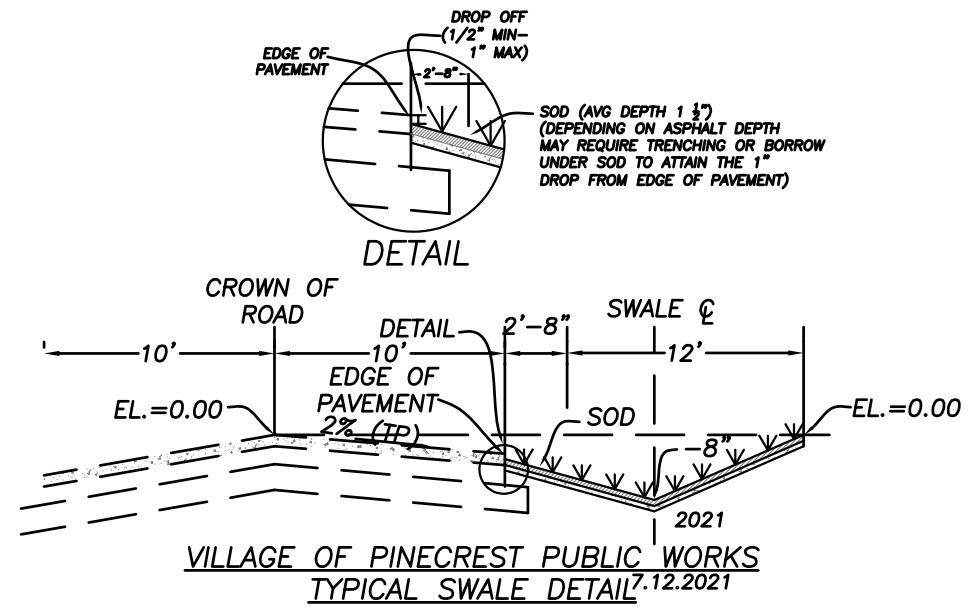
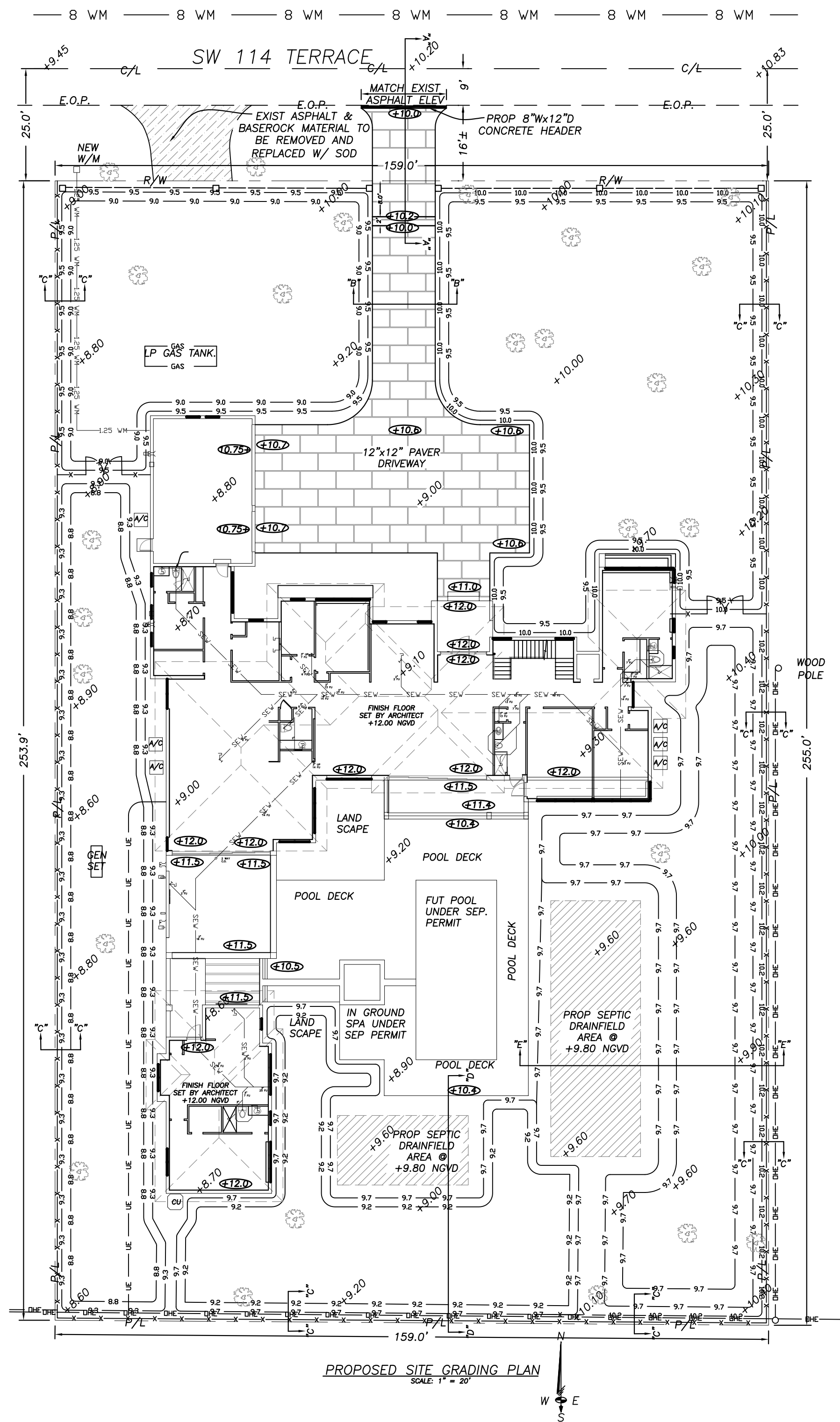
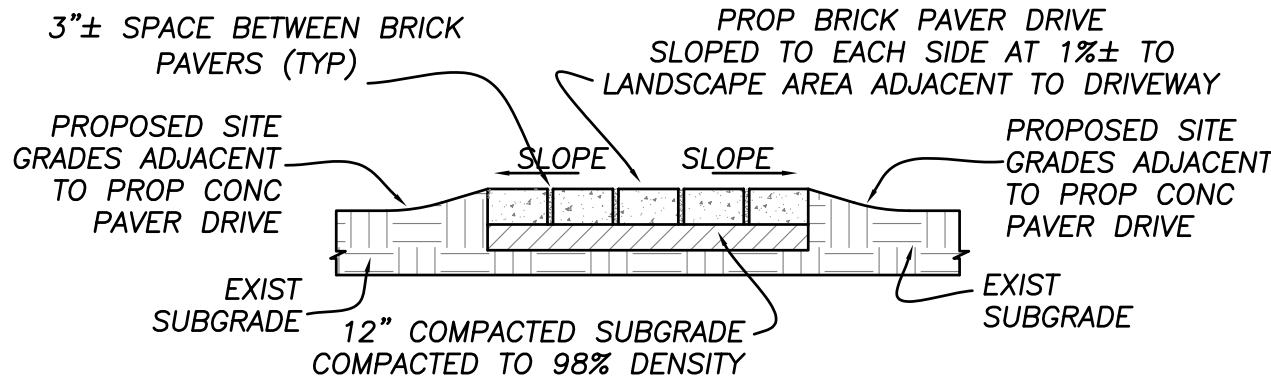


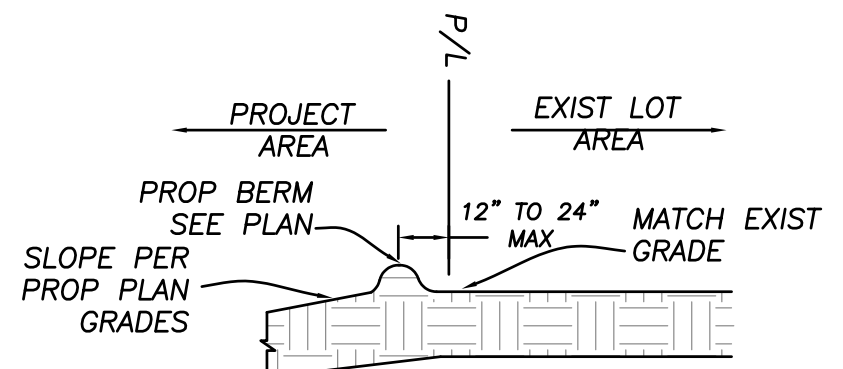
- C/L Of Exist Asphalt Roadway See Plan For Elevation
- Proposed 6" Thick Driveway See Architect's Plans For Details
- High Point Of Proposed Driveway @ R/W See Plan For Elevation
- Low Point Of Proposed Driveway @ 5' From R/W See Plan For Elevation
- Proposed Driveway See Architect's Plans For Details
- Existing Compacted Limerock Base & Compacted Subgrade Material
- Proposed 2" Sand Leveling Course Over A Compacted Subgrade Material @ 95% Density

SECTION "A"- "A" THRU DRIVEWAY



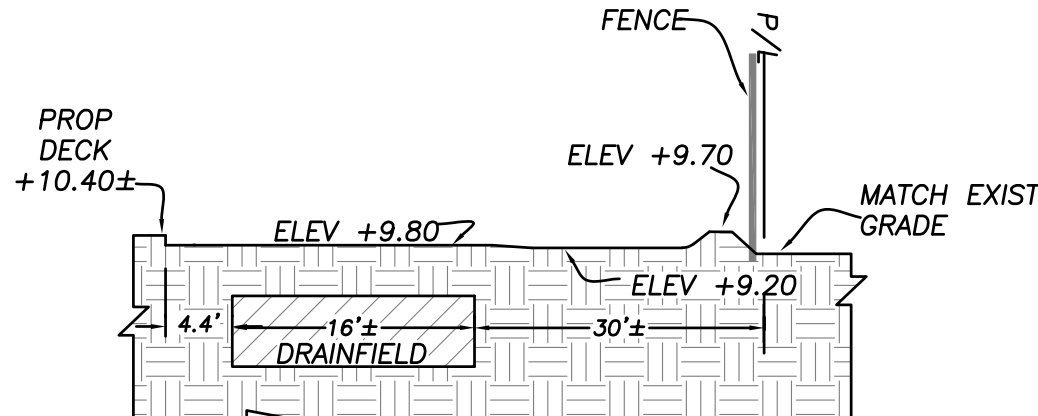
SECTION "B"- "B" (@ DRIVEWAY)

SCALE: N.T.S.

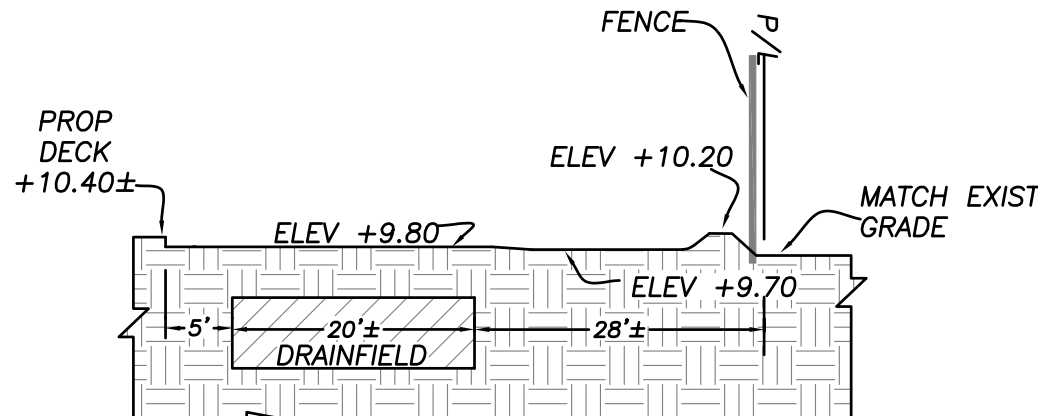


SECTION "C"- "C" (ALONG P/L)

SCALE: N.T.S.



SEPTIC SYSTEM SECTION "D"- "D"



SEPTIC SYSTEM SECTION "E"- "E"

SITE DATA:

LEGAL DESCRIPTION:

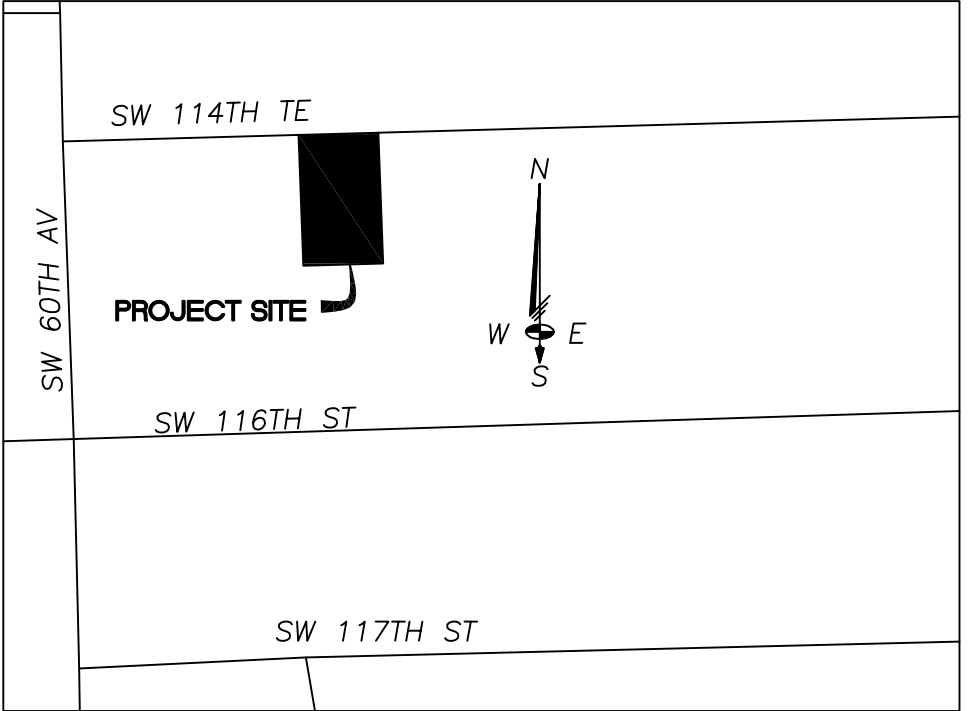
LOT 8, BLOCK 2 OF "BRUCE-LAURIE SUBDIVISION" AS RECORDED IN PLAT BOOK 53, PAGE 34 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

Site Address:

5900 SW 114 Terrace
Pinecrest, FL 33156

Property Folio #:

20-5012-010-0200



LOCATION MAP
SEC 36 TWP 54S R6E 40E
SCALE: 1" = 300'

ENGINEER'S NOTES

PUBLIC WORKS CONDITIONS OF PERMIT SFR-D/W:

- NO FILL OF ANY KIND CAN BE BROUGHT ON-SITE OR TO THE ROW OUTSIDE OF THE BUILDING FOOT PRINT
- NO RUNOFF GENERATED FROM THE DRIVEWAY IS PERMITTED TO DISCHARGE DIRECTLY TO THE ROW OR ADJACENT PROPERTIES
- THE ROW SWALE IS TO BE GRADED USING THE VILLAGE PW STANDARD
- NO TREES SHALL BE PLANTED IN THE ROW SWALE BEFORE A CONDITIONAL APPROVAL OF THE ROUGH GRADING OF THE SWALE HAS BEEN APPROVED BY THE PUBLIC WORKS
- NO SHRUBS ARE TO BE PLANTED IN THE ROW AND ANY EXISTING SHRUBS ARE TO BE REMOVED
- NO IRRIGATION, LIGHTING OR ELECTRICAL COMPONENTS OF ANY KIND MAY BE INSTALLED IN THE ROW
- ALL PROPOSED TREES IN THE ROW WILL BE PLANTED A MINIMUM OF 7' FROM THE EDGE OF PAVEMENT TO THE FACE OF THE TREE AND WILL BE OF THE TYPE, KIND, AND SPACING AS APPROVED BY THE VILLAGE ARBORIST. ARBORIST CONTACT INFORMATION IS RICK CARR CCARR@PINECREST-FL.GOV
- ANY DECORATIVE D/W IN THE ROW SHALL HAVE AN EIGHT INCH 8"W x 12"D, 3000 PSI FIBER MESH CONCRETE HEADER CURB LOCATED BETWEEN THE ASPHALT AND THE PROPOSED D/W, THE EDGE OF THE HEADER CURB WILL BE A MINIMUM 10" FROM THE CENTERLINE OR TO THE EDGE OF THE EXISTING ASPHALT EDGE
- NO MATERIAL OF ANY KIND SHALL BE STORED FOR ANY LENGTH OF TIME ON THE PUBLIC SWALE
- EXISTING SIDEWALKS SHALL BE MAINTAINED AT ALL TIMES, FREE OF ANY LOOSE MATERIALS, AND OPEN TO PEDESTRIAN TRAFFIC AT ALL TIMES. NO VEHICLES CAN PARK ON THE SIDEWALK AT ANY TIME.
- ANY SIDEWALK CROSSED BY A D/W APPROACH MUST BE REPLACED WITH 6" THICK SIDEWALK AND EXTENDED TO THE NEXT ADJACENT WHOLE FLAG ON EITHER SIDE OF THE APPROACH
- ALL WORK CONDUCTED IN THE ROW WILL IMPLEMENT THE APPLICABLE FDOT STANDARD INDEX 600 SERIES FOR MOT
- ALL SIDEWALK REPLACEMENT WILL BE OPEN TO TRAFFIC WITHIN 48 HOURS OF THE SIDEWALK BEING CLOSED FOR DEMO. THIS INCLUDES DEMOLITION OF EXISTING SIDEWALK, PLACING FORMS, PLACING AND FINISHING CONCRETE AND STRIPPING FORMS

SITE GRADING NOTES:

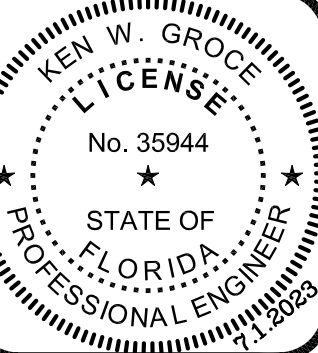
- ALL GRADES SHOWN ARE BASED ON N.G.V.D. 1929 DATUM
- SITE CONTRACTOR TO GRADE SITE TO CREATE A PERIMETER 6" TO 8" BERM PRIOR TO INSTALLING PROPOSED PERIMETER LANDSCAPING
- PROPOSED GRADES ARE TO BE ADJUSTED AROUND EXISTING TREES TO REMAIN TO NOT EXPOSE OR COVER THEM UP
- SITE CONTRACTOR RESPONSIBLE FOR VERIFYING THE EXISTING GRADES TO ENSURE THAT THE PROPOSED GRADES WILL NOT IMPACT THE ADJACENT PROPERTIES PRIOR TO PREPARING THE PROPOSED PERIMETER BERM
- THE SITE & LANDSCAPE CONTRACTORS SHALL MAINTAIN THE PROPOSED CONTOURS, SITE GRADES AND PERIMETER BERM ELEVATIONS TO ENSURE THAT THE PROPOSED LANDSCAPING DOES NOT ELIMINATE THE "DRY RETENTION" AREAS AS SHOWN ON THE CROSS SECTIONS AND THE SITE GRADING PLAN
- SITE CONTRACTOR SHALL CALL FOR A PRELIMINARY (48 HOURS NOTICE) REVIEW OF THE PROPOSED SITE GRADING BEFORE INSTALLING ANY FINAL LANDSCAPING OR SOD. THE ENGINEER SHALL BE NOTIFIED AT 48 HOURS IN ADVANCE OF THIS PRELIMINARY SITE VISIT
- THE SITE CONTRACTOR SHALL COORDINATE THE PROPOSED SITE GRADING PLAN (CONTOURS, ELEVATIONS, BERM, ETC.) WITH THE PROPOSED LANDSCAPE PLANS. THE SITE GRADING PLAN SHALL GOVERN OVER ANY CONFLICTS WITH THE PROPOSED LANDSCAPE PLANS



CHEROKEE CONSULTING, INC
CIVIL ENGINEERS
5821 SW 51 TERRACE, MIAMI, FLORIDA 33155
Phone: 305.205.2361; E-Mail: kugroose@att.net
Certificate of Authorization 27419

5900 LLC RESIDENCE
WATER & SEWER PLAN
5900 SW 114 TERRACE
PINECREST, FLORIDA

REVISIONS	By	Date
1. 12.2023 REVISED PROP HOUSE LAYOUT PARCEL C	K.W.G.	



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY KEN W. GROCE P.E. ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

For The Firm By:
KEN W. GROCE, P.E.
FL. Reg. No. 35944
Civil Engineer

Scale: As Shown In Views
Designed By: KWG
Drawn By: CDS
Checked By: KWG
Date: 3.20.2023
Project No: 23-14

Sheet:
PD-1 1 OF 2