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GENERAL NOTES

1. THIS STRUCTURE SHALL HAVE ALL EXTERIOR GLAZED OPENINGS INCLUDING GLASS BLOCK, SLIDING GLASS DOORS, AND FRENCH DOORS IMPACT GLASS RESISTANT. SEE ATTACHED MFR. AS PART OF THIS SET.
2. ALL WINDOWS GLASS SHALL BE SHGC = 0.31 & U-FACTOR 1.05
3. FRONT DOOR GARAGE DOOR AND ANY SIDE SERVICE EXTERIOR DOOR SHALL BE IMPACT RESISTANT.
4. IN BUILDINGS WITH STONE APPLICATION, PRE-FABRICATED WOOD BRACKETS, AND/OR PRE-FABRICATED TRIMS, A STUCCO SCRATCH COAT SHALL BE PROVIDED ON THE MASONRY BLOCK WITH A WATERPROOFING SEALER (SUPER THOROSEAL OR APPROVED EQUIVALENT) ON TOP OF THE SCRATCH COAT, PRIOR TO THE STONE/PRE-FABRICATED TRIM OR BRACKET INSTALLATION.
5. STUCCO APPLIED TO CONCRETE OR MASONRY SHALL COMPLY WITH FLORIDA BUILDING CODE 2011 - BUILDING, FIFTH EDITION, SECTION 2510.1 AND SECTION 2512.9, AND SHALL CONSIST OF AT LEAST TWO COATS AND THE TOTAL THICKNESS SHALL NOT BE LESS THAN 1/2".

ADDITIONAL NOTE:

* PROVIDE CAT. II LAMINATED GLASS WHERE THERE IS A DROP OF 4' OR MORE WITH A WINDOW SILL LESS THAN 36" AFF.

* AS PER VILLAGE OF PINECREST ZONING DEPARTMENT, THE MINIMUM F.F.E. OF RESIDENCE MUST BE 10'33" NGVD. (HIGHEST CROWN OF ROAD = 0.61') WITH ALL BUILDING HEIGHTS BEING MEASURED FROM HIGHEST CROWN OF ROAD, 11'34" NGVD, AS PER SURVEY.

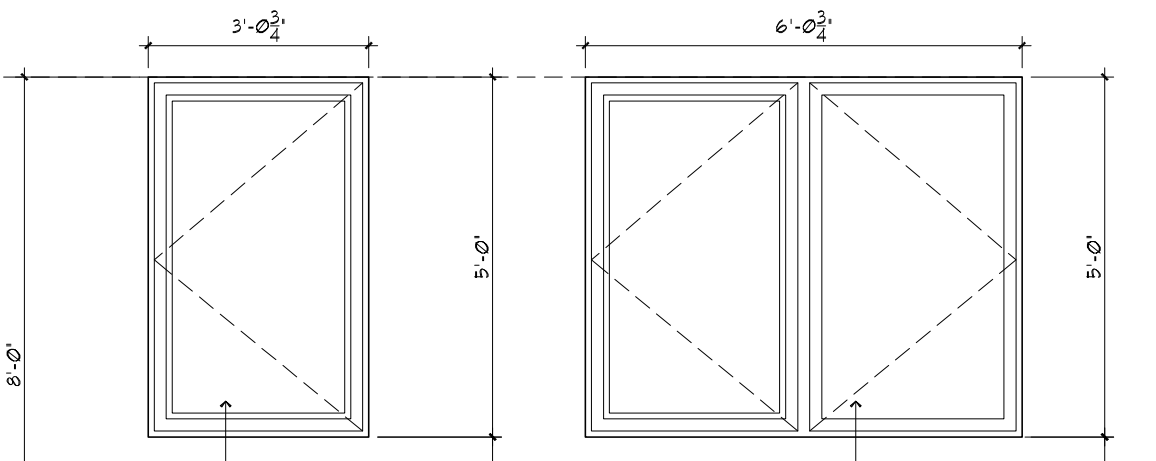
GARAGE (LOWEST HABITABLE FLOOR) F.F.E. IS 10'33" NGVD. PLEASE SEE ELEVATIONS ON THIS SHEET FOR BUILDING HEIGHTS AS PER VILLAGE OF ZONING CRITERIA.

ROOF NOTES

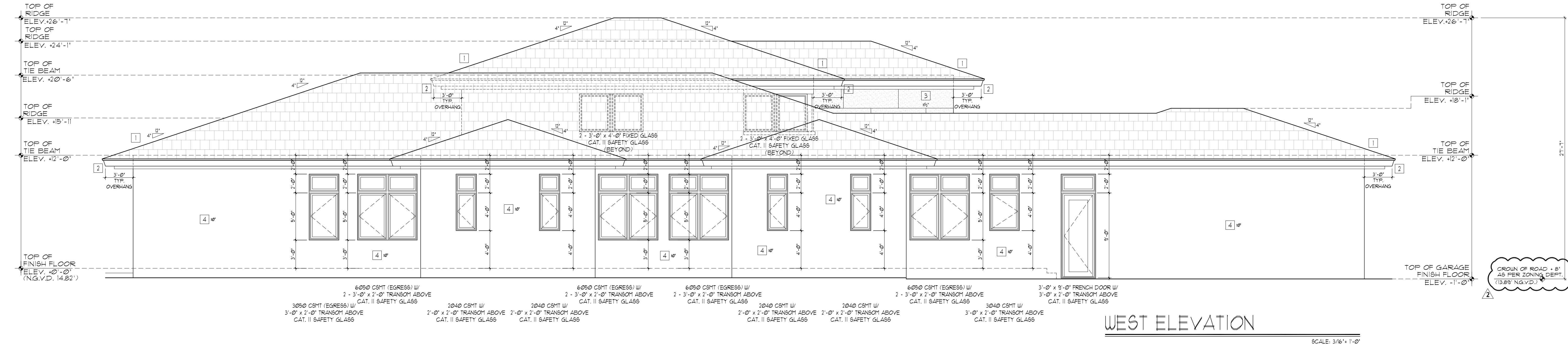
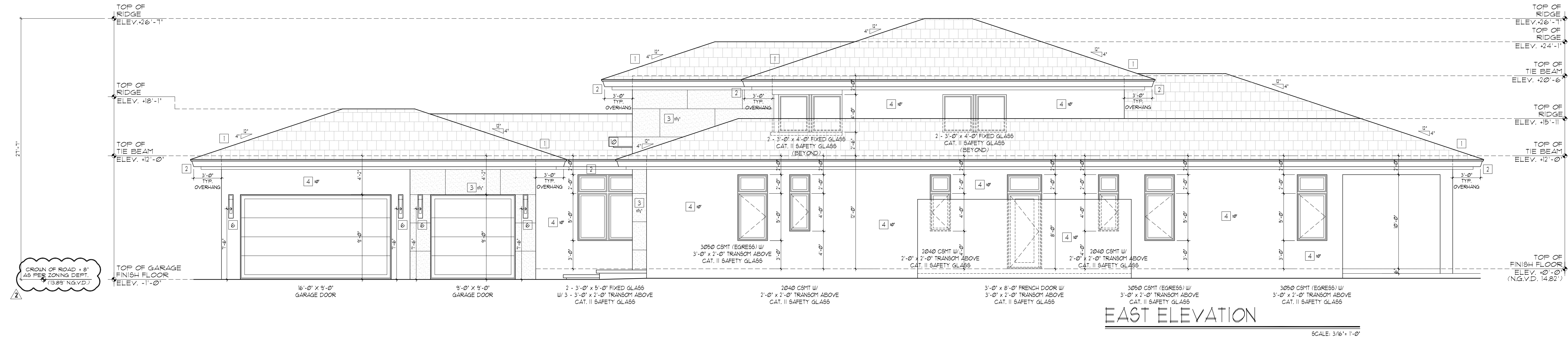
1. TRUSS MANUFACTURER SHALL SUBMIT SHOP DWGS FOR ARCHITECT REVIEW PRIOR TO FABRICATION
2. TRUSS MANUFACTURER SHALL VERIFY ALL KNEE HEIGHTS
3. REFER TO TRUSS MANUFACTURER ENG. DRAWINGS FOR ALL ROOF TRUSSES REQUIRED TEMPORARY AND PERMANENT BRACING, GABLE END BRACING, DETAILS & REQUIRED GRAVITY BRACING.
4. CONC. BEAM DEPTH OVER DOOR/WINDOW OPENINGS MAY VARY AS PER MFR. DOOR/WINDOW HGT. (FRENCH OR SLIDING DOORS AND WINDOWS UP TO 3' DEEPER)
5. PROVIDE 1/2" CDX PLYWD. FELT MTL. LATH AND STUCCO FINISH AT ALL COVERED TERRACE AND ENTRY CEILING / SOFFITS (TYP.)
6. ROOF VENTS TO ATTIC SPACE MUST BE COVERED WITH CORROSION RESISTANT SCREENING. SCREEN OPENINGS TO BE BETWEEN A MIN. OF 1/8" & MAX. OF 1/4" (TYP.) AS PER F.B.C. 2023 SECTION R806.1
7. RAINWATER DOWNSPOUTS SHALL DISCHARGE A MINIMUM OF 12' AWAY FROM THE WALL AS PER F.B.C. 2023 SECTION R310.5

ROOF COVERING SPECIFICATION

1. CEMENT FLAT TILE ROOF ON PEEL AND STICK APPLICATION TO 1-3/8" FELT TIN-TAGGED TO 19/32" PLYWOOD SHEATHING. SPACING OF TIN-TAG FASTENERS ALONG THE LAP OF SHEETS, AND BOTH WAYS IN THE FIELD BETWEEN LAPS, SHALL BE 6" O.C. IN DIRECTION OF ROLL, 12" O.C. ACROSS WIDTH OF ROLL, AS PER F.B.C. 2023. THE 1-3/8" FELT IS ANCHORED TO THE PLYWOOD SHEATHING WITH SEMCO GALVANIZED, DIAMOND POINT, 1-1/4" X 120" DIAMETER. INSTALLATION SHALL BE PER PRODUCT CONTROL APPROVAL AND MANUFACTURER'S SPECS. WOOD SHEATHING ANCHORAGE SHALL BE NAILED IN ACCORDANCE WITH F.B.C. 2023:



TYP. EGRESS WINDOWS DTL.
NOT TO SCALE



LEGEND:

- 1 CEMENT FLAT TILE ROOF - SEE ROOF COVERING NOTE ON THIS SHEET
- 2 2" X 8" SMOOTH FINISH WOOD FASCIA
- 3 DECORATIVE STONE VENEER
- 4 SMOOTH STUCCO FINISH
- 5 CONCRETE PLANTER, REFER TO STRUCTURAL DRAWINGS
- 6 COACH LIGHT
- 7 REINFORCED CONCRETE BEAM, REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 8 REINFORCED CONCRETE SLAB AND FOUNDATION, REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 9 PRE-FABRICATED ALUMINUM LOUVER - BY OTHERS
- 10 REINFORCED CANTILEVERED CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 11 CONCRETE PRIVACY WALL, REFER TO STRUCTURAL DRAWINGS
- 12 1/2" THICK STUCCO BAND - SEE ELEV. FOR WIDTHS

**PASCUAL
PEREZ
KILIDDJIAN
STARR**
ARCHITECTS + PLANNERS

LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE NO.: AR 0015394
MARIO P. PASCUAL, AIA
LICENSE NO.: AR 0008254
PETER KILIDDJIAN, RA
LICENSE NO.: AR 0093067
ANDREW STARR, RA
LICENSE NO.: AR 0095130

AT THE BEACON CENTER
1330 NW 84TH AVENUE
DORAL, FLORIDA 33126
TELEPHONE: (305) 592-1363
FACSIMILE: (305) 592-6865
http://www.ppkarch.com

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REVISIONS:

2. 08.10.23 BLDG. DEPT. REV.

OWNER:
HERITAGE HOME BUILDERS, LLC
9350 SOUTH DIXIE HIGHWAY
SUITE 1500
MIAMI, FL 33156
PHONE: 305.665.3077

NEW CONSTRUCTION AT PINECREST RESIDENCE:
BY HERITAGE HOME BUILDERS, LLC.
7725 SOUTHWEST 114 STREET
VILLAGE OF PINECREST, FL 33156

SEAL:
STATE OF FLORIDA
REGISTERED ARCHITECT
AR0015394
Digitally signed by Edgardo
Perez
DN:
E=edgardo.perez@ppkarch.com,
CN=Edgardo Perez,
O=Pascual, Perez,
Kiliddjian, Starr &
Associates, L=L-Doral,
S=Florida, C=US
Date: 2023.08.23
09:57:14-0400

ELEVATIONS

DATE: 0116.2023
SCALE: AS SHOWN
DRAWN: SJF
CHECK BY: EP
JOB NO.: 22-22

SHEET NO.:

A-4

GENERAL NOTES:

- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR AND ALL THE SUBCONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, DIMENSIONS AND COORDINATE EXISTING CONDITIONS AT THE JOB SITE WITH THE PLANS AND SPECIFICATIONS. THEY SHALL REPORT ANY ON CONSIDERATIONS OR ERRORS IN THE ABOVE TO THE ARCHITECT/ENGINEER BEFORE COMMENCING WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, GENERAL NOTES OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF SUCH OMISSION OR ERROR PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE CONTRACTOR'S FAILING TO GIVE SUCH AN ADVANCED NOTICE, HE SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING THE SAME.
- ALL DIMENSIONS SHALL BE CONSIDERED "NOMINAL" UNLESS OTHERWISE NOTED. DIMENSIONS ON LARGE SCALE DRAWINGS OR DETAILS WILL PREVAIL OVER SMALLER SCALE DRAWINGS.
- DO NOT SCALE DIMENSIONS. USE FIGURED DIMENSIONS ONLY. VERIFY ALL DIMENSIONS & CONDITIONS IN THE EVENT OF CONFLICT, NOTIFY THE ARCHITECT BEFORE PROCEEDING.
- SHOWER/BATHING COMPARTMENTS SHALL HAVE FLOORS AND WALLS CONSTRUCTED OF SMOOTH, CORROSION RESISTANT AND NONABSORBENT WATER-RESISTANT MATERIALS (GREEN BOARD NOT ACCEPTABLE) TO HEIGHT OF NOT LESS THAN 12 INCHES ABOVE THE COMPARTMENT FLOOR AT THE DRAIN BY SECTION R-302.2 FBC 2023.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EMERGENCY ESCAPE AND RESCUE OPENING OPERABLE FROM THE INSIDE. THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. SUCH CLEAR OPENING SHALL BE NOT LESS THAN 20" IN WIDTH, AND 24" IN HEIGHT (51 SF IN AREA). THE BOTTOM OF THE CLEAR OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FINISHED FLOOR. NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE FINISHED FLOOR. AS PER FBC 2023 SECTION R302.1 THRU R302.4.
- NUMBERS OF ADDRESS SHALL BE PLACED VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL BE 4 INCHES MIN. IN HEIGHT. AS PER FBC 2023 R303.
- REFER TO FOUNDATION PLAN FOR CONCRETE FILLED BLOCK CELL LOCATION, SIZE & REINF.
- ALL FIXED GLASS PANELS SHALL BE ¾" SAFETY GLASS CAT. II MINIMUM.
- CAT. II SAFETY GLASS SHALL BE USED AT ALL SHOWER/TUB ENCLOSURES INCLUDING ANY GLAZING WITHIN 60" OF THE FINISH FLOOR SURFACE IN WALLS SURROUNDING ANY TUB OR SHOWER ENCLOSURE AS PER TABLE R-308.4.5 FBC 2023.
- EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM THE INSIDE OF THE CLOSET. NFPA 21-2.4.4.
- EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY. NFPA 21-2.4.5.
- ATTICS NOT USED FOR HABITATION PURPOSES SHALL HAVE PROVISIONS FOR THE EMISSION OF EXCESS HEAT. FBC 2023 1203.2.
- TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SEE SECTION 202, REGISTERED TERMITE TREATMENT. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTANT TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES AS PER R301."
- HEIGHT OF WINDOW SILL AT AND FLOOR EGRESS. WINDOWS SHALL BE A MIN. OF 36" ABOVE THE FINISH FLOOR AND SHALL NOT EXCEED A MAX. OF 44" ABOVE THE FINISH FLOOR.
- SHUTTERS USED TO PROTECT OPENINGS ABOVE THE FIRST STORY OF ANY BUILDING MUST BE PERMANENTLY INSTALLED AND CLOSABLE FROM THE INSIDE OF THE BUILDING AS PER SECTION 2413.6 FBC 2023.
- FLAME SPREAD AND SMOKE DENSITY: WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450 AS PER FBC 2023 SECTION R302.3. INSULATION MATERIALS INCLUDING FACINGS, SUCH AS VAPOR RETARDERS OR VAPOR PERMEABLE MEMBRANES INSTALLED WITH FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES SHALL ASSEMBLIES BE CLASSIFIED AS CLASS 1. CLASS 1 SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 AS PER FBC 2023 SECTION R302.10.
- ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. AS PER FBC 2023 R302.2.
- GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE PROVIDED WITH A MANUFACTURER'S OR INSTALLER'S LABEL DESIGNATING TYPE AND THICKNESS OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES AND IS VISIBLE IN THE FINAL INSTALLATION AS PER FBC R309.1. OPERATIVE WINDOW AND DOOR ASSEMBLIES SHALL BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION FBC 2023 2413.1.6.
- IN BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION, AN ATTIC ACCESS OPENING SHALL BE PROVIDED WITH THE ROUGH-FRAMED OPENING NOT LESS THAN 22" BY 30" AS PER R801 FBC 2023. A 30" MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SHALL BE PROVIDED.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD IN ACCORDANCE WITH SECTION R302.1 FBC 2023.
- PROTECTION FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS IN ACCORDANCE WITH SECTION R303 FBC 2023.
- HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS, LAUNDRY ROOMS AND BATHS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-6" AS PER FBC 2023 SECTION 1208.1. FOR ROOMS WITH GLOVED CEILING, AT LEAST 50% OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF LESS THAN 5 FEET. PER FBC 2023 SECTION 1208.2 (EXCEPTION 2) BATHROOMS SHALL HAVE A MIN. CEILING HEIGHT OF 6'-8" AS PER FBC 2023 SECTION 1208.2 (EXP. 4).
- COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3 INCHES (76 MM) FROM RECESSED LUMINAIRES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES. FBC 2023 SECTION R302.13.
- ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED ABOVE BASE FLOOR ELEVATION AS PER FBC 2023 R322 OF THE FLORIDA MECHANICAL CODE, OR AT AN ELEVATION EQUAL TO THE FINISHED FLOOR OF THE HOUSE / BUILDING.
- DESIGNATE MEANS OF EGRESS AND EMERGENCY MEANS OF ESCAPE, LANDINGS OR FINISHED FLOORS AT THE REQUIRED MINIMUM 12 INCHES (305 MM) LOWER THAN THE TOP OF THE THRESHOLD AS PER FBC 2023 R301.3. ALSO THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 13/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD.
- BUILDING IS TO BE BUILT ABOVE MINIMUM BASE FLOOR ELEVATION IN ACCORDANCE WITH SECTION R322 FBC 2023. PLEASE SEE PLOT PLAN FOR BASE FLOOR HEIGHT AND FINISH FLOOR ELEVATION.
- IN BUILDINGS WITH STONE APPLICATION, PRE-FABRICATED WOOD BRACKETS, AND/OR PRE-FABRICATED TRIMS & STUCCO SCRATCH COAT SHALL BE PROVIDED ON THE MASONRY BLOCK WITH A WATERPROOFING SEALER (SUPER THOROSEAL OR APPROVED EQUIVALENT) ON TOP OF THE SCRATCH COAT, PRIOR TO THE STONE/PRE-FABRICATED TRIM OR BRACKET INSTALLATION.
- STUCCO APPLIED TO CONCRETE OR MASONRY SHALL COMPLY WITH FLORIDA BUILDING CODE 2023 - BUILDING FIFTH EDITION, SECTION 2510.1 AND SECTION 2512.3, AND SHALL CONSIST OF AT LEAST TWO COATS AND THE TOTAL THICKNESS SHALL NOT BE LESS THAN 1/2".

FLOOR PLAN LEGEND:

- | | |
|---|--|
| REFRIGERATOR / FREEZER SPACE | LAUNDRY SINK W/ UPPER CABINETS |
| DOUBLE SINK WITH DISPOSAL | WASHER AND DRYER SPACE, VENT DRYER TO EXTERIOR |
| DISHWASHER | 8'-0" PRIVACY WALL |
| GAS COOKTOP WITH HOOD | PANTRY SHELF |
| LINE OF CABINETS ABOVE - BY OTHERS | BATH TUB |
| 36" HGT. COUNTER | REFRIGERATOR SPACE UNDER COUNTER |
| DOUBLE OVEN | ATTIC ACCESS |
| INSTANT GAS WATER HEATER | CAT. II SAFETY GLASS SHOWER ENCLOSURE W/ (2) 2'-0" DOORS |
| AIR HANDLER UNIT | 18" HIGH BENCH |
| A/C CONDENSING UNIT | CUSTOM BUILT-IN CABINERY - BY OTHERS |
| ELECT. PANEL, SURFACE MOUNTED | ICE MAKER UNDER COUNTER |
| ELECTRICAL METER | GAS BBQ |
| SINGLE SINK ON 36" HGT COUNTER | OUTDOOR SHOWER |
| DRYWALL FINISHED LINEN CL. W/ SHELVES | DRYWALL FINISHED I.T. CL. W/ RACKS |
| SHOWER ENCLOSURE CAT. II SAFETY GLASS W/ (1) 2'-0" DOOR | CONCRETE SLAB, REFER TO STR. DRAWINGS |
| CONCRETE SLAB, REFER TO STR. DRAWINGS | CONC. PLANTER, REFER TO STR. DRAWINGS |
| RESERVED | DRYWALL FINISHED PANTRY W/ SHELVES & STORAGE - BY OTHERS |
| CUSTOM CLOSET SHELVING & STORAGE - BY OTHERS | |

DOOR TYPE					GLASS	FRAME	REMARKS
No.	W	H	T	MAT.	TYPE	MAT. DET.	
1	6'-0"	10'-8"	13'-4"	ALU.	FRENCH DOOR	CAT. II SFTY GL. AL.	MTL THRESHOLD, LEATHER STRIP DOOR SCOTTE, RESISTANT, 20 MIN. FIRE RATED DOOR.
2	2'-0"	8'-0"	13'-8"	MTL	RAISED PANEL BUNG	UD	UD
3	2'-0"	8'-0"	13'-8"	UD	RAISED PANEL BUNG	UD	MARBLE SADDLE AT BATHROOMS ONLY
4	2'-0"	8'-0"	13'-8"	UD	RAISED PANEL BUNG	UD	MARBLE SADDLE AT BATHROOMS ONLY
5	2'-0"	8'-0"	13'-8"	UD	RAISED PANEL POCKET	UD	MARBLE SADDLE AT BATHROOMS ONLY
6	2'-0"	8'-0"	13'-8"	UD	RAISED PANEL BUNG	UD	FULL LOUVERED AT A/C CLOSET ONLY
7	12'-0"	4'-0"	13'-4"	GL	RAISED PANEL POCKET		MTL THRESHOLD, AIR TIGHT
8	4'-0"	8'-0"	13'-4"	ALU.	SLIDING GLASS DOOR	CAT. II SFTY GL. AL.	4 DOORS, 2 TRACKS
9	3'-0"	8'-0"	13'-8"	UD	RAISED PANEL POCKET	UD	
10	3'-0"	9'-0"	13'-4"	ALU.	FRENCH DOOR	CAT. II SFTY GL. AL.	MTL THRESHOLD, LEATHER STRIP
11	3'-0"	8'-0"	13'-4"	ALU.	FRENCH DOOR	CAT. II SFTY GL. AL.	MTL THRESHOLD, LEATHER STRIP
12	12'-0"	4'-0"	13'-8"	UD	RAISED PANEL BUNG	UD	MARBLE SADDLE AT BATHROOMS ONLY
13	9'-0"	9'-0"		MTL	OH GARAGE DOOR	UD	W/VENTS AT BOTTOM 6/8 SQ. IN. PER GAR. WITHIN 1" AFF.
14	8'-0"	9'-0"		MTL	OH GARAGE DOOR	UD	W/VENTS AT BOTTOM 6/8 SQ. IN. PER GAR. WITHIN 1" AFF.
15	19'-4"	0"	0"	13'-4"	ALU.	GL	SLIDING GLASS DOOR
16	12'-4"	0"	0"	13'-4"	ALU.	GL	SLIDING GLASS DOOR
17	14'-0"	0"	0"	13'-4"	ALU.	GL	SLIDING GLASS DOOR

* SELF CLOSER AT DOORS BETWEEN GARAGE AND RESIDENTIAL.

** OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20 MIN. FIRE RATED DOORS, REFER TO R309.1 FBC.

*** EGRESS DOOR SHALL COMPLY WITH 37 MIN. CLEAR AS PER R302 FBC 2023.

**** DOOR FRAMES SHALL BE SOLID 2" x 4" RABBETED WOOD FRAME AS PER 9FBC 2023.

ELEVATION NOTES

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- ALL WINDOWS GLASS SHALL BE SHGC = 0.31 & U-FACTOR 1.05
- FRONT DOOR, GARAGE DOOR AND ANY SIDE SERVICE EXTERIOR DOOR SHALL BE IMPACT RESISTANT.
- IN BUILDINGS WITH STONE APPLICATION, PRE-FABRICATED WOOD BRACKETS, AND/OR PRE-FABRICATED TRIMS, A STUCCO SCRATCH COAT SHALL BE PROVIDED ON THE MASONRY BLOCK WITH A WATERPROOFING SEALER (SUPER THOROSEAL OR APPROVED EQUIVALENT) ON TOP OF THE SCRATCH COAT, PRIOR TO THE STONE/PRE-FABRICATED TRIM OR BRACKET INSTALLATION.
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ADDITIONAL NOTE:

* PROVIDE CAT. II LAMINATED GLASS WHERE THERE IS A DROP OF 4' OR MORE WITH A WINDOW SILL LESS THAN 36" AFF.

* AS PER VILLAGE OF PINECREST ZONING DEPARTMENT, THE MINIMUM FFE OF RESIDENCE MUST BE 1033' NGVD. (HIGHEST CROWN OF ROAD + 0.61') WITH ALL BUILDING HEIGHTS BEING MEASURED FROM HIGHEST CROWN OF ROAD, 1334' NGVD, AS PER SURVEY.

GARAGE (LOWEST HABITABLE FLOOR) FFE IS 1033' NGVD. PLEASE SEE ELEVATIONS ON THIS SHEET FOR BUILDING HEIGHTS AS PER VILLAGE OF ZONING CRITERIA.

ROOF NOTES

- TRUSS MANUFACTURER SHALL SUBMIT SHOP DWGS FOR ARCHITECT REVIEW PRIOR TO FABRICATION.
- TRUSS MANUFACTURER SHALL VERIFY ALL KNEE HEIGHTS
- REFER TO TRUSS MANUFACTURER ENG. DRAWINGS FOR ALL ROOF TRUSSES REQUIRED TEMPORARY AND PERMANENT BRACING, GABLE END BRACING, DETAILS & REQUIRED GRAVITY BRACING.
- CONC. BEAM DEPTH OVER DOOR/WINDOW OPENINGS MAY VARY AS PER MFR. DOORS/ WINDOW HGT. (FRENCH OR SLIDING DOORS AND WINDOWS UP TO 3' DEEPER).
- PROVIDE 1/2" CDX PLYWOOD FELT MTL LATH AND STUCCO FINISH AT ALL COVERED TERRACE AND ENTRY CEILING / SOFFITS (TYP).
- ROOF VENTS TO ATTIC SPACE MUST BE COVERED WITH CORROSION RESISTANT SCREENING. SCREEN OPENINGS TO BE BETWEEN A MIN. OF 1/8" & MAX. OF 1/4" (TYP) AS PER F.B.C. 2023 SECTION R806.1.
- RAINWATER DOWNSPOUTS SHALL DISCHARGE A MINIMUM OF 12" AWAY FROM THE WALL AS PER F.B.C. 2023 SECTION R318.5.

ROOF COVERING SPECIFICATION

- CEMENT FLAT TILE ROOF ON PEEL AND STICK APPLICATION TO 1-30° FELT TIN-TAGGED TO 19/32" PLYWOOD SHEATHING. SPACING OF TIN-TAG FASTENERS ALONG THE LAP OF SHEETS, AND BOTH WAYS IN THE FIELD BETWEEN LAPS SHALL BE 6" O.C. IN DIRECTION OF ROLL, 12" O.C. AT CORNERS, EAVES, RIDGE, AND GABLE ENDS. THE 1-30° FELT IS ANCHORED TO THE PLYWOOD SHEATHING WITH 5/16" GALVANIZED DIAMOND POINTS, 1-1/4" x 1/20" DIAMETER. INSTALLATION SHALL BE PER PRODUCT CONTROL APPROVAL AND MANUFACTURER'S SPEC. WOOD SHEATHING ANCHORAGE SHALL BE NAILED IN ACCORDANCE WITH F.B.C. 2023 19/32" CDX PLYWOOD SHEATHING EXPOSURE 1 OVER TWO OR MORE SPAN WITH FACE GRAIN PERPENDICULAR TO SUPPORT ANCHORED TO FASCIA W/ 8d RING SHANK NAILS AT 4" O.C. ALL AROUND PERIMETER, 6" O.C. AT PANEL EDGES AND INTERMEDIATE SUPPORTS AND 8d RING SHANK NAIL OR 10d COMMON NAILS THROUGHOUT AND 4" O.C. AT GABLE END TRUSSES AND DIAPHRAGM BOUND, AS PER F.B.C. 2023 SECTION 2322.2.4 THROUGH 2322.2.5.2.

LEGEND:

- | |
|--|
| CEMENT FLAT TILE ROOF - SEE ROOF COVERING NOTE ON THIS SHEET |
| 2" x 8" SMOOTH FINISH WOOD FASCIA |
| DECORATIVE STONE VENEER |
| SMOOTH STUCCO FINISH |
| CONCRETE PLANTER, REFER TO STRUCTURAL DRAWINGS |
| COACH LIGHT |
| REINFORCED CONCRETE BEAM, REFER TO STRUCTURAL DRAWINGS FOR DETAILS. |
| REINFORCED CONCRETE SLAB AND FOUNDATION, REFER TO STRUCTURAL DRAWINGS FOR DETAILS. |
| PRE-FABRICATED ALUMINUM LOUVER - BY OTHERS |
| REINFORCED CANTILEVERED CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS FOR DETAILS. |
| CONCRETE PRIVACY WALL, REFER TO STRUCTURAL DRAWINGS |
| 1/2" THICK STUCCO BAND - SEE ELEV. FOR WIDTHS |

AREA CALCULATIONS

TOTAL A/C SPACE 548.61 SQUARE FEET
OF ACCESSORY STRUCTURE

WALL LEGEND:

INDICATES 8"x8"x16" MASONRY UNITS

INDICATES 3-5/8" METAL STUDS PARTITION 24" O.C. WITH 1/2" DRYWALL FINISH EACH SIDE

No. 25 GAUGE CHANNEL-SHAPED STUDS 16" O.C. WITH 1 FULL-LENGTH LAYERS OF 1/2" DRYWALL EACH SIDE AND R-19 INSULATION BETWEEN STUDS.

NOTE:

INTERIOR FINISHES SHALL MEET SPECIFIED VOC EMISSIONS LIMITS IN ACCORDANCE WITH GREENGUARD ENVIRONMENTAL INSTITUTE GG88.001 STANDARD FOR BUILDING MATERIAL AND FINISHES OR GREEN SEAL (R) STANDARD.

ELEVATION NOTES:

- CONDENSING UNIT T.O.S. ELEVATION SHALL BE NOT LESS THAN FFE.
- REFER APPROVED SITE PLAN FOR FINISH FLOOR ELEVATION.
- REFER APPROVED SITE PLAN FOR GARAGE FLOOR ELEVATION.

VENTILATION CALCS. @ ACCESSORY STRUCTURE

VENTILATION:

REQUIRED VENTILATION:
361 S.F. = 6.41 S.F.
150

SOFFIT VENTILATION PROVIDED:

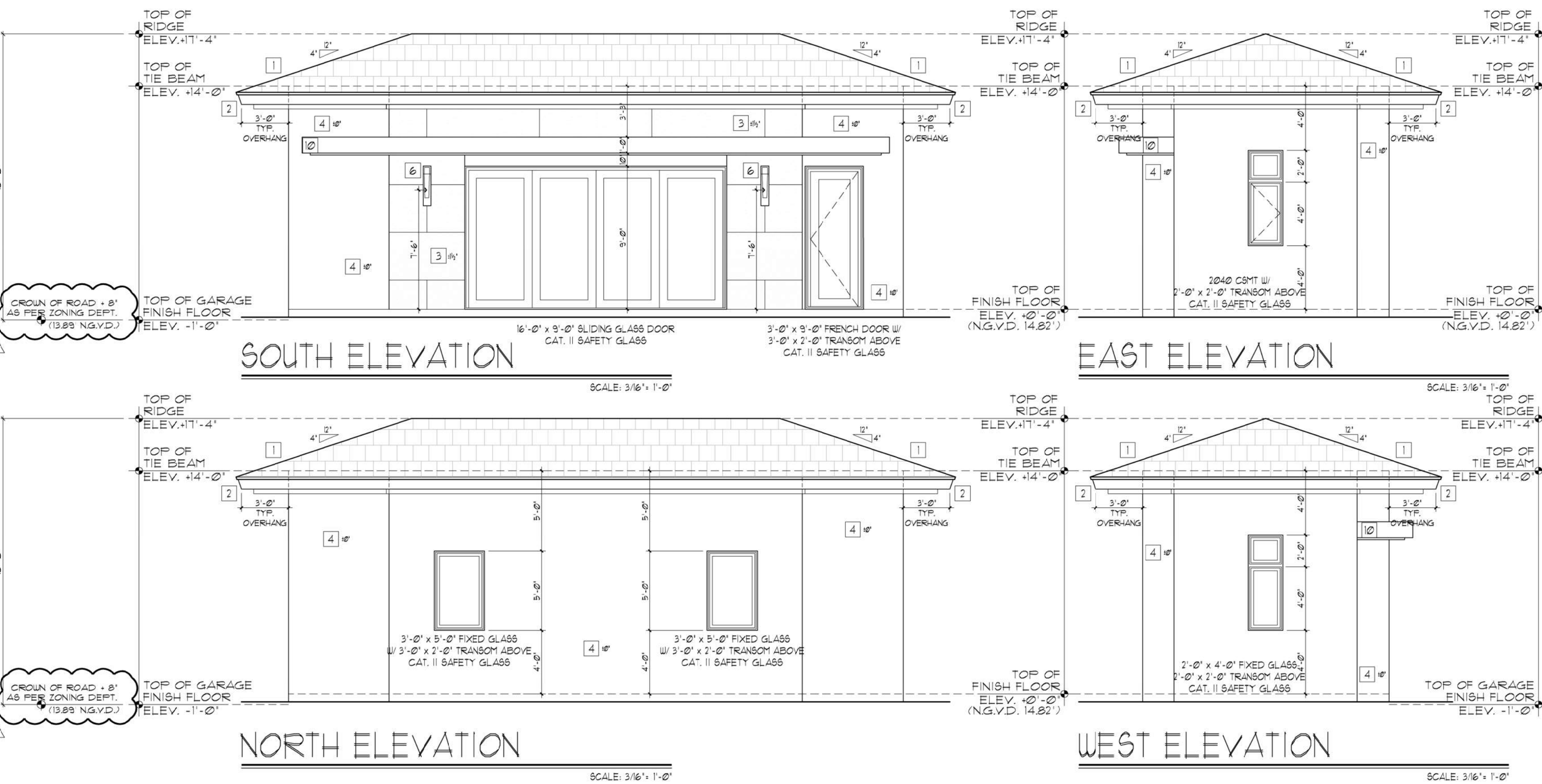
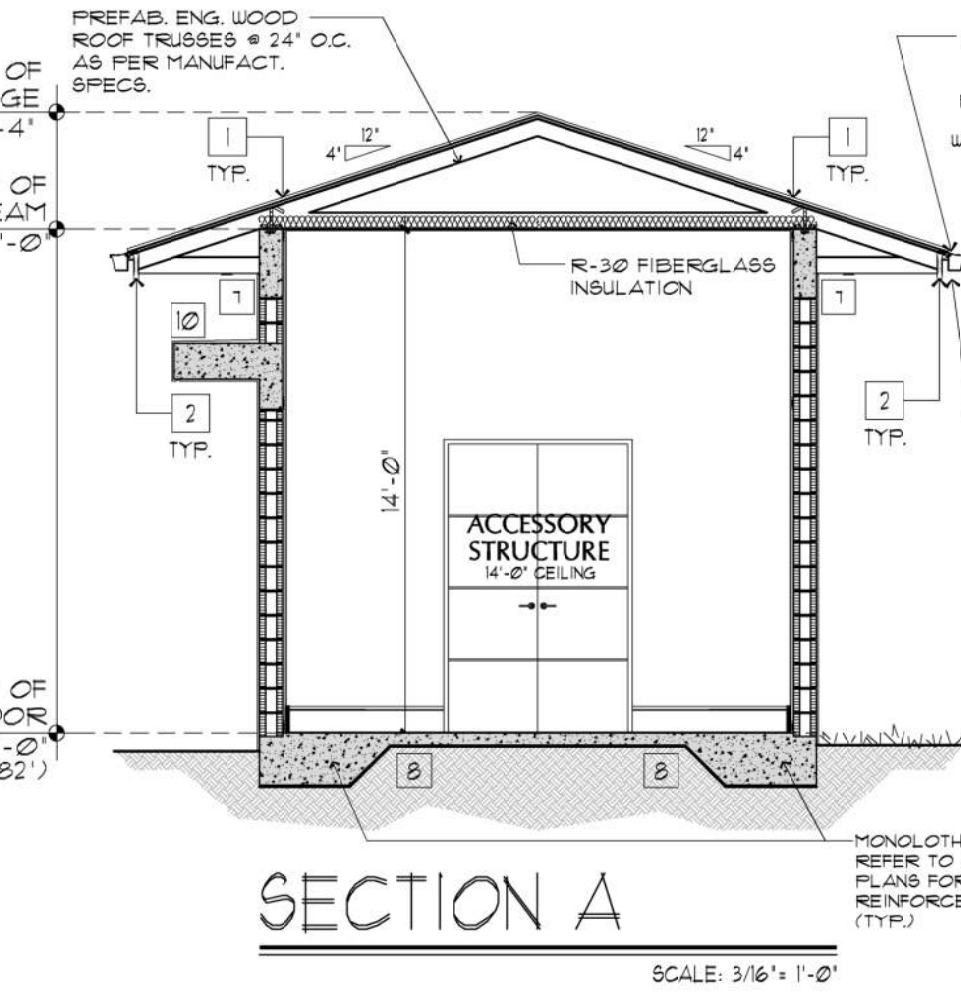
52' X 4' = 173.3 S.F.
144

HEIGHT DIMENSIONS:

RIDGE HEIGHT = +11'-4"
EAVE HEIGHT = +14'-8"
MEAN HEIGHT = +16'-6"

NOTES:

- ELEVATIONS ARE REFERRED TO FINISH FLOOR AS 0'-0"



PASCUAL PEREZ KILIDDJIAN STARR
ARCHITECTS + PLANNERS
LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE NO.: AR 0015394
MARIO P. PASQUAL, AIA
LICENSE NO.: AR 0008254
PETER KILIDDJIAN, RA
LICENSE NO.: AR 0093067
ANDREW STARR, RA
LICENSE NO.: AR 0095130

AT THE BEACON CENTER
1330 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE: (305) 592-1363
FACSIMILE: (305) 592-6865
http://www.ppkarch.com

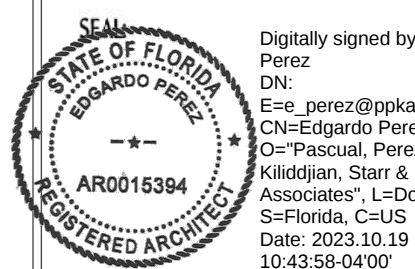
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REVISIONS:

Δ 08.1023 BLDG. DEPT. REV.

OWNER:
HERITAGE HOME BUILDERS, LLC
9350 SOUTH DIXIE HIGHWAY
SUITE 1500
MIAMI, FL 33156
PHONE: 305.665.3077

NEW CONSTRUCTION AT PINECREST RESIDENCE:
BY HERITAGE HOME BUILDERS, LLC.
7725 SOUTHWEST 114 STREET
VILLAGE OF PINECREST, FL 33156



Digitally signed by Edgardo Perez
DN: cn=Edgardo Perez, o=Pascual, Perez, Kiliddjian, Starr & Associates, c=USA, ou=Florida, c=US
Date: 2023.10.19 10:43:58-0400

ACCESSORY STRUCTURE
DATE: 01.16.2023
SCALE: AS SHOWN
DRAWN: SJF
CHECK BY: EP
JOB NO.: 22-22

A-5

SHEET NO.:

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GENERAL NOTES

1. THIS STRUCTURE SHALL HAVE ALL EXTERIOR GLAZED OPENINGS INCLUDING GLASS BLOCK, SLIDING GLASS DOORS, AND FRENCH DOORS IMPACT GLASS RESISTANT. SEE ATTACHED MFR. AS PART OF THIS SET.
2. ALL WINDOWS GLASS SHALL BE SHGC = 0.31 & U-FACTOR 1.05
3. FRONT DOOR GARAGE DOOR AND ANY SIDE SERVICE EXTERIOR DOOR SHALL BE IMPACT RESISTANT.
4. IN BUILDINGS WITH STONE APPLICATION, PRE-FABRICATED WOOD BRACKETS, AND/OR PRE-FABRICATED TRIMS, A STUCCO SCRATCH COAT SHALL BE PROVIDED ON THE MASONRY BLOCK WITH A WATERPROOFING SEALER (SUPER THOROSEAL OR APPROVED EQUIVALENT) ON TOP OF THE SCRATCH COAT, PRIOR TO THE STONE/PRE-FABRICATED TRIM OR BRACKET INSTALLATION.
5. STUCCO APPLIED TO CONCRETE OR MASONRY SHALL COMPLY WITH FLORIDA BUILDING CODE 2011 - BUILDING, FIFTH EDITION, SECTION 2510.1 AND SECTION 2512.9, AND SHALL CONSIST OF AT LEAST TWO COATS AND THE TOTAL THICKNESS SHALL NOT BE LESS THAN 1/2".

ADDITIONAL NOTE:

* PROVIDE CAT. II LAMINATED GLASS WHERE THERE IS A DROP OF 4' OR MORE WITH A WINDOW SILL LESS THAN 36" AFF.

* AS PER VILLAGE OF PINECREST ZONING DEPARTMENT, THE MINIMUM FFE OF RESIDENCE MUST BE 1033' NGVD. (HIGHEST CROWN OF ROAD + 0.61') WITH ALL BUILDING HEIGHTS BEING MEASURED FROM HIGHEST CROWN OF ROAD, 1134' NGVD, AS PER SURVEY.

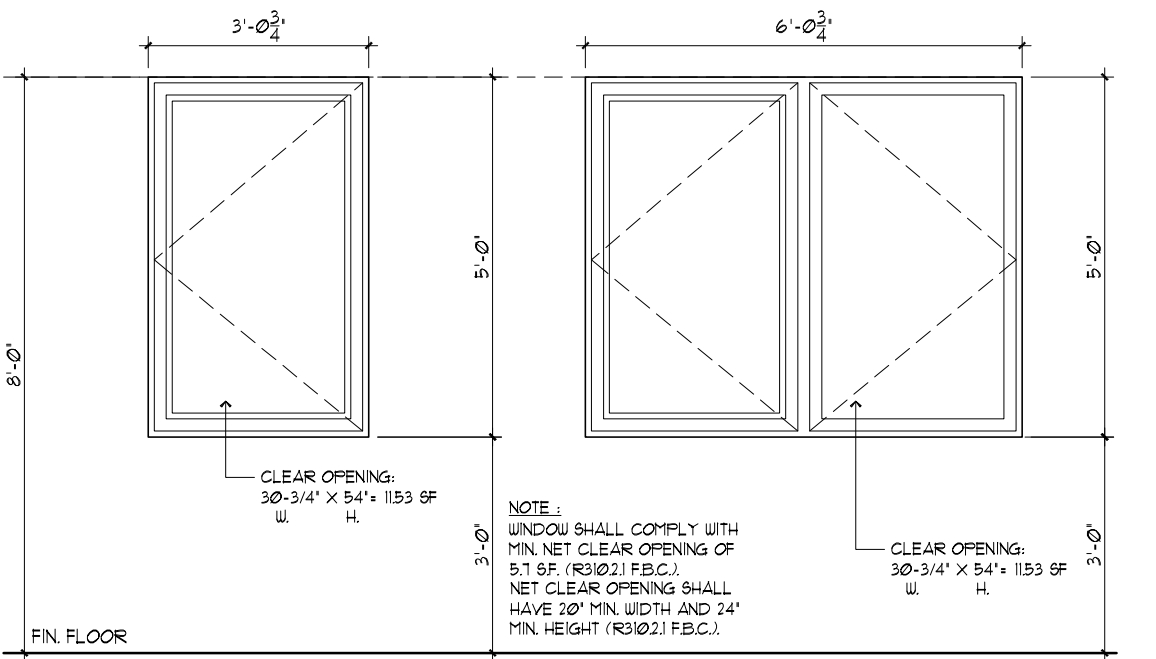
GARAGE (LOWEST HABITABLE FLOOR) FFE IS 1033' NGVD. PLEASE SEE ELEVATIONS ON THIS SHEET FOR BUILDING HEIGHTS AS PER VILLAGE OF ZONING CRITERIA.

ROOF NOTES

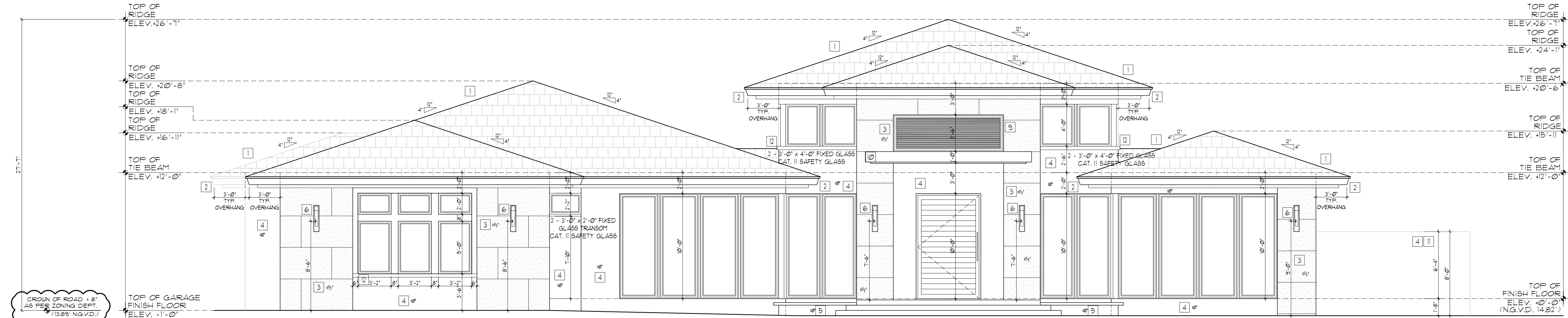
1. TRUSS MANUFACTURER SHALL SUBMIT SHOP DWGS FOR ARCHITECT REVIEW PRIOR TO FABRICATION
2. TRUSS MANUFACTURER SHALL VERIFY ALL KNEE HEIGHTS
3. REFER TO TRUSS MANUFACTURER ENG. DRAWINGS FOR ALL ROOF TRUSSES, REQUIRED TEMPORARY AND PERMANENT BRACING, GABLE END BRACING, DETAILS & REQUIRED GRAVITY BRACING.
4. CONC. BEAM DEPTH OVER DOOR/WINDOW OPENINGS MAY VARY AS PER MFR. DOOR/ WINDOW HGT. (FRENCH OR SLIDING DOORS AND WINDOWS UP TO 3' DEEPER)
5. PROVIDE 1/2" CDX PLYWD. FELT MTL. LATH AND STUCCO FINISH AT ALL COVERED TERRACE AND ENTRY CEILING / SOFFITS (TYP).
6. ROOF VENTS TO ATTIC SPACE MUST BE COVERED WITH CORROSION RESISTANT SCREENING. SCREEN OPENINGS TO BE BETWEEN 4" O.C. AT GABLE END TRUSSES AND DIAPHRAGM BOUND. AS PER F.B.C. 2023 SECTION R206.1
7. RAINWATER DOWNSPOUTS SHALL DISCHARGE A MINIMUM OF 12" AWAY FROM THE WALL AS PER F.B.C. 2023 SECTION R318.5

ROOF COVERING SPECIFICATION

1. CEMENT FLAT TILE ROOF ON PEEL AND STICK APPLICATION TO 1-3/8" FELT TIN-TAGGED TO 19/32" PLYWOOD SHEATHING. SPACING OF TIN-TAG FASTENERS ALONG THE LAP OF SHEETS, AND BOTH WAYS IN THE FIELD BETWEEN LAPS, SHALL BE 6" O.C. IN DIRECTION OF ROLL, 12" O.C. ACROSS WIDTH OF ROLL, AS PER F.B.C. 2023. THE 1-3/8" FELT IS ANCHORED TO THE PLYWOOD SHEATHING WITH SEMCO GALVANIZED, DIAMOND POINTS, 1-1/4" X 120" DIAMETER. INSTALLATION SHALL BE PER PRODUCT CONTROL APPROVAL AND MANUFACTURER'S SPECS. WOOD SHEATHING ANCHORAGE SHALL BE NAILED IN ACCORDANCE WITH F.B.C. 2023.2:



TYP. EGRESS WINDOWS DETL.
NOT TO SCALE



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



NORTH ELEVATION

SCALE: 3/16" = 1'-0"

LEGEND:

- 1 CEMENT FLAT TILE ROOF - SEE ROOF COVERING NOTE ON THIS SHEET
- 2 2" X 8" SMOOTH FINISH WOOD FASCIA
- 3 DECORATIVE STONE VENEER
- 4 SMOOTH STUCCO FINISH
- 5 CONCRETE PLANTER, REFER TO STRUCTURAL DRAWINGS
- 6 COACH LIGHT
- 7 REINFORCED CONCRETE BEAM, REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 8 REINFORCED CONCRETE SLAB AND FOUNDATION, REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 9 PRE-FABRICATED ALUMINUM LOUVER - BY OTHERS
- 10 REINFORCED CANTILEVERED CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 11 CONCRETE PRIVACY WALL, REFER TO STRUCTURAL DRAWINGS
- 12 1/2" THICK STUCCO BAND - SEE ELEV. FOR WIDTHS

PASCUAL
PEREZ
KILIDDJIAN
STARR

ARCHITECTS + PLANNERS

LICENSE # AA 2601357
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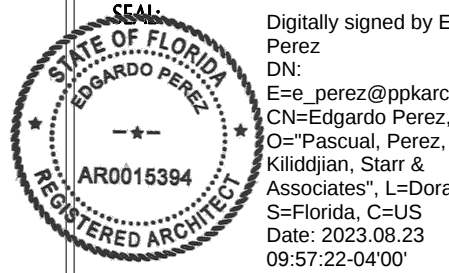
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REVISIONS:

2. 08.10.23 BLDG. DEPT. REV.

OWNER:
HERITAGE HOME BUILDERS, LLC
9350 SOUTH DIXIE HIGHWAY
SUITE 1500
MIAMI, FL 33156
PHONE: 305.665.3077

NEW CONSTRUCTION AT PINECREST RESIDENCE
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7725 SOUTHWEST 114 STREET
VILLAGE OF PINECREST, FL 33156



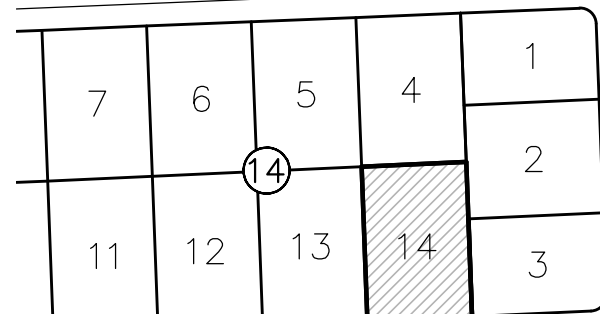
Digitally signed by Edgardo
Perez
DN:
E=ed_perez@ppkarch.com,
CN=Edgardo Perez,
O=Pascual, Perez,
Kiliddjian, Starr &
Associates, L.L.C.,
C=Florida, C=US
Date: 2023.08.23
09:57:22-04'00'

ELEVATIONS

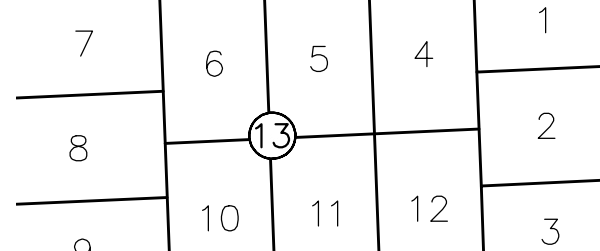
DATE: 0116.2023
SCALE: AS SHOWN
DRAWN: SJF
CHECK BY: EP
JOB NO.: 22-22

A-3

SHEET NO.:

LOCATION MAP
NTSKILLIAN DRIVE
(S.W. 112th STREET)

S.W. 114th STREET

PALMETTO ROAD
(S.W. 77th AVENUE)

N

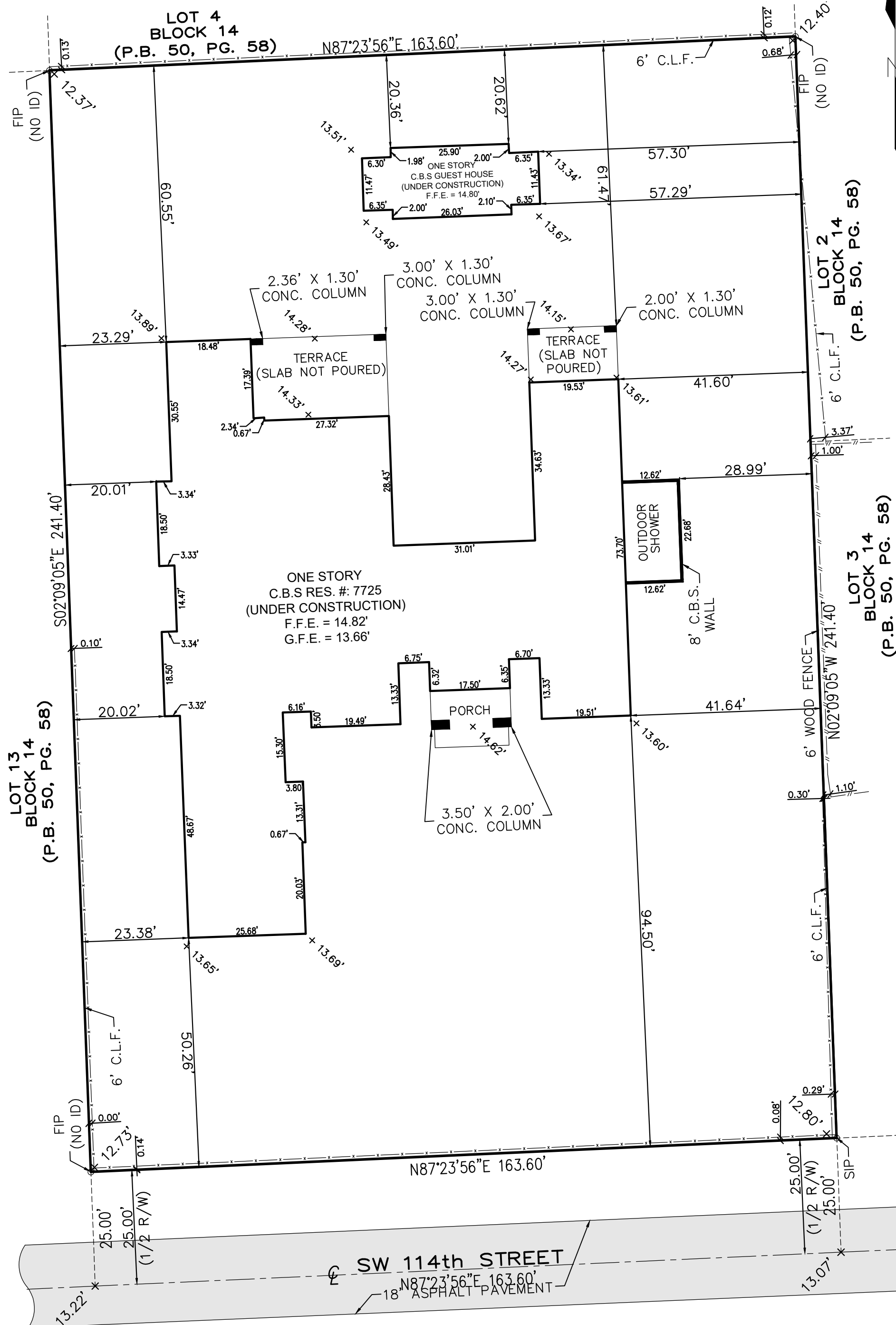
N

DESCRIPTION:

LOT 14, BLOCK 14 OF "SUNILAND ESTATES" FIRST ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 50 AT PAGE 58 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- The herein captioned Property was surveyed and described based on the shown Legal Description as provided by Client.
- Ownership subject to OPINION OF TITLE
- Tri-County Engineering, Inc. and the certifying Professional Surveyor and Mapper accept no responsibility for Rights-Of-Way, Easements, Restrictions of Record or other matters affecting title to lands surveyed other than those recited in the current Deed and / or other instruments of record furnished by Client.
- This Certification is only for the lands as described. It is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances. ABSTRACT NOT REVIEWED.
- There may be additional Restrictions not shown on this survey that may be found in the Public Records of this county. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property
- The vertical control element of this Survey was derived from the National Geodetic Vertical Datum (NGVD) of 1929.
- Field-measured control for elevation information shown on this survey is based on a level loop. Closure in feet is accurate to a standard of plus or minus .05 ft. times the square root of the distance in miles.
- The accuracy of control survey data was verified by redundant measurements or closed traverse and was found to meet or exceeded the following closure, based on the expected use of the property:
- The Expected use of property is Suburban: with a linear closure of: 1 foot in 7,500 feet.
- Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
- Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.
- Additions or deletions to survey, maps, or reports by other than the signing party or parties are prohibited without written consent of the signing party or parties.
- Contact the appropriate authority prior to any design work on the herein described parcel for Building and Zoning information.
- Underground utilities are not depicted hereon; contact the appropriate authority prior to any design work or construction on the property.
- The Surveyor shall be notified, in writing, as to any deviation from utilities shown hereon, if any.
- Any use of this Survey for purposes other than which it was intended, without written verification, will be at the user's sole risk and without liability to the Surveyor and Mapper. Nothing herein shall be construed to give any rights or benefits to anyone than those certified to.
- All Bearings and Distances shown hereon are Record and Measured unless otherwise noted.
- Property Address: 7725 SW 114th STREET, PINECREST, FL 33156
- Survey Type: BOUNDARY SURVEY.
- Miami-Dade County Survey Section provided the benchmark used, as published in its "Benchmark Book", dated September, 2008. Locator: 5022, Benchmark name: CD-6-R, Elevation: 10.75' (NGVD 1929) which is BRASS BAR IN CONC. MON AT BACK EDGE OF SIDEWALK INSIDE SCHOOL YARD.
SW 120 ST --- 26' NORTH OF CENTER LINE
SW 77 AVE --- 77' EAST OF CENTER LINE
- AREA OF PROPERTY:
GROSS AREA: 43,582.94 SQFT OR 1.001 ACRES +/-;
NET AREA: 39,492.84 SQFT OR 0.907 ACRES +/-;
- Bearings shown hereon and north arrow direction are based on an assumed value of: N87°23'56"E along the Center line of SW 114th STREET.
- By scaled determination the subject property appears to lie in Flood Zone "X" Base Flood Elevation = N/A as per Federal Emergency Management Agency (FEMA) Map/Panel Number 12086 C0462 Suffix L, Community Number 120425, Revised Date: September 11th 2009.

SKETCH OF SURVEY
SCALE 1"=20'

ABBREVIATIONS & SYMBOLS

(M)	=	MEASURED
(R)	=	RECORD
ATT	=	AT&T RISER
C.B.S.	=	CONCRETE BLOCK STRUCTURE
C.L.F.	=	CHAIN LINK FENCE
C.O.	=	CLEAN-OUT
C.U.	=	CONDENSING UNIT
CB	=	CATCH BASIN
CONC.	=	CONCRETE
DME	=	DRAINAGE AND MAINTENANCE EASEMENT
ELE.	=	ELEVATION
EPB	=	ELECTRIC PULL BOX
F.F.E.	=	FINISHED FLOOR ELEVATION
FH	=	FIRE HYDRANT
FIP	=	FOUND 1/2" IRON PIPE
FN&D	=	FOUND NAIL AND DISK
FPL	=	FLORIDA POWER AND LIGHT COMPANY
G.F.E.	=	GARAGE FLOOR ELEVATION
GP	=	GUARD POLE
ID	=	IDENTIFICATION
L	=	ARC LENGTH
MB	=	MAIL BOX
MH	=	MANHOLE
MH	=	SEWER MANHOLE
P.B.	=	PLAT BOOK
P/L	=	PROPERTY LINE
PB.	=	PAGE
PCP	=	PERMANENT CONTROL POINT
PVC	=	POLYVINYL CHLORIDE
R	=	ARC RADIUS
R/W	=	RIGHT OF WAY
RES	=	RESIDENCE
SIP	=	SET 1/2" IRON PIPE LB 6507
SN&D	=	SET NAIL AND DISK
SWME	=	STORM WATER MANAGEMENT EASEMENT
TYP.	=	TYPICAL
U.E.	=	UTILITY EASEMENT
WM	=	WATER METER
Δ	=	CENTRAL ANGLE
Δ	=	SET NAIL AND DISK
Δ	=	CENTER LINE
Δ	=	ELEVATION

MATCH LINE "A" (BELOW)

SW 114th STREET
N87°23'56"E 246.00' (R) 246.06' (M)

S2°09'02"E

Surveyor's Certificate:

I HEREBY CERTIFY: That this Survey and the Sketch of Survey resulting there from was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said Survey meets the intent of the applicable provisions of the "Standards of Practice for Land Surveying in the State of Florida", pursuant to rule 5J-17 of the Florida administrative code and its implementing law, Chapter 472.027 of the Florida Statutes. I further certify: That the positional uncertainties resulting from the survey measurements made on the survey do not exceed the allowable Positional Tolerances, therein.

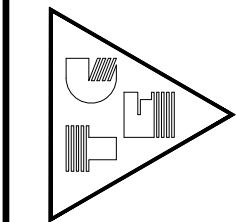
Tri-County Engineering, Inc.
Florida Certificate of Authorization Number LB6507

By:

Jose M. Lopez, P.S.M.
Professional Surveyor and Mapper Number 4849
State of Florida for the Firm.

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Map per. Additions or deletions to Sketch of Survey are prohibited without the written consent of the signing party.

Tri-County Engineering, Inc.

Engineering - Surveying & Mapping
EB-6706 - LB-6507 State of Florida7729 NW 146th Street
Miami Lakes, FL 33016PH: 305-623-3737
Fax: 305-623-3172

BY

REVISIONS

CERTIFIED TO:

LUIS RODRIGUEZ

SCALE:

AS SHOWN

CHECKED BY:

JML

DRAWN BY:

JMLjr

DATE OF FIELD WORK:

08/30/2024

ORDER NUMBER:

240832

FIELD BOOK:

SCANS

SHEET:

1 OF 1