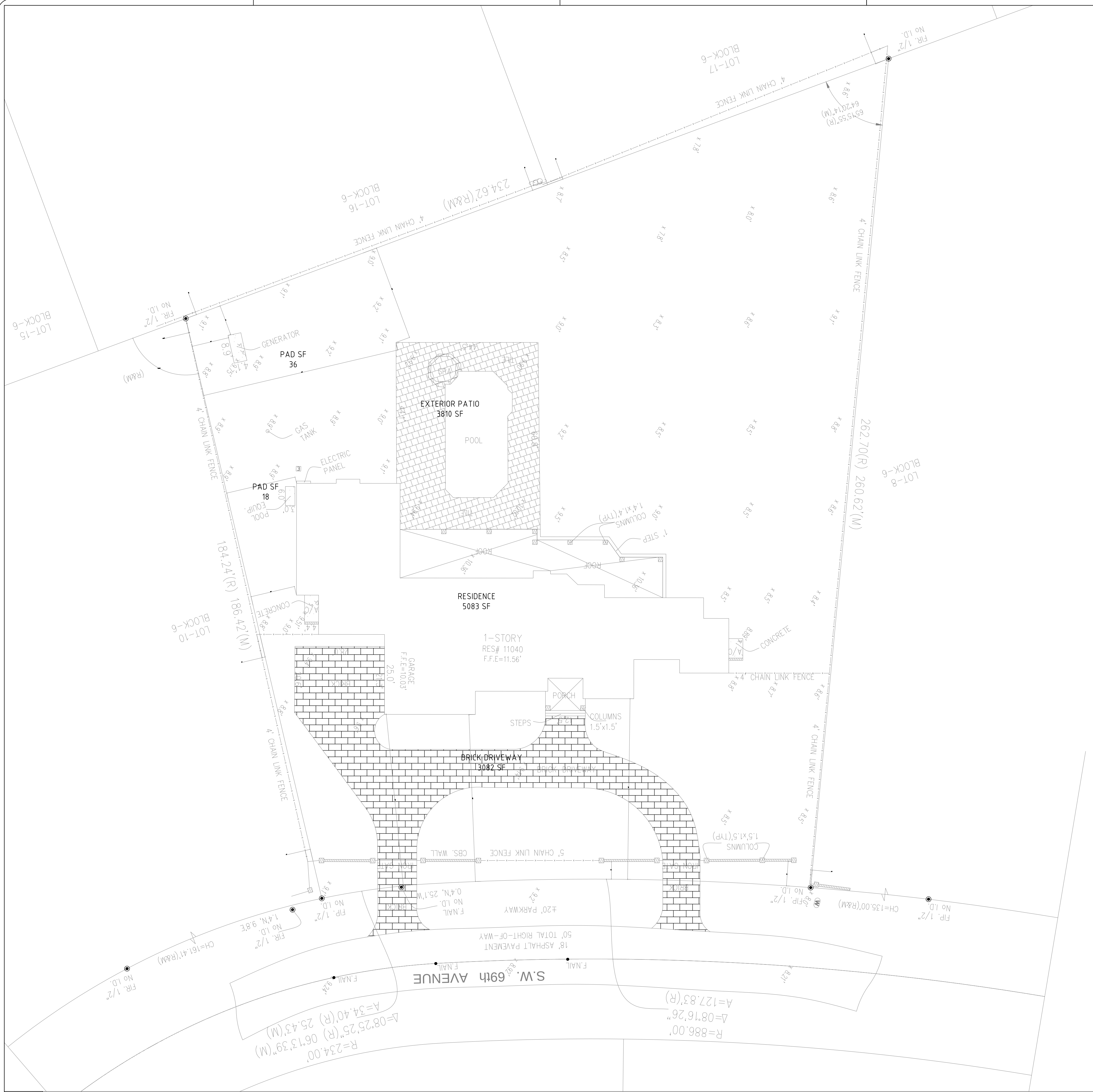




EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"



ONE MORE
DESIGNS, LLC
5916 SW 82 STREET
MIAMI FL. 33143 USA
FJVILLEGASJR@ONEMOREDB.COM
3 0 5 - 4 9 5 - 1 1 1 4

DESIGN CONSTRUCTION BUILD

CLIENT:
WILLIAM & DANIELLA
GOMEZ

PROJECT NAME:
SFR RENOVATIONS

ADDRESS:
11040 SW 69 AVE
MIAMI, FL.

REVISIONS:
-
-
-
-
-

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DATE: OCTOBER 2024
SCALE: AS SHOWN
JOB N°: 2425
FILE NAME: D2425
DRAWN BY: UB
CHECKED BY: FJV

SEAL:
FRANCISCO J. VILLEGAS JR.
LICENSE
No. 92715
STATE OF
FLORIDA
PROFESSIONAL ENGINEER
06/12/2025
FL. REG. P.E. # 92715
THIS ITEM HAS BEEN DIGITALLY
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VILLEGAS JR., P.E. ON THE DATE
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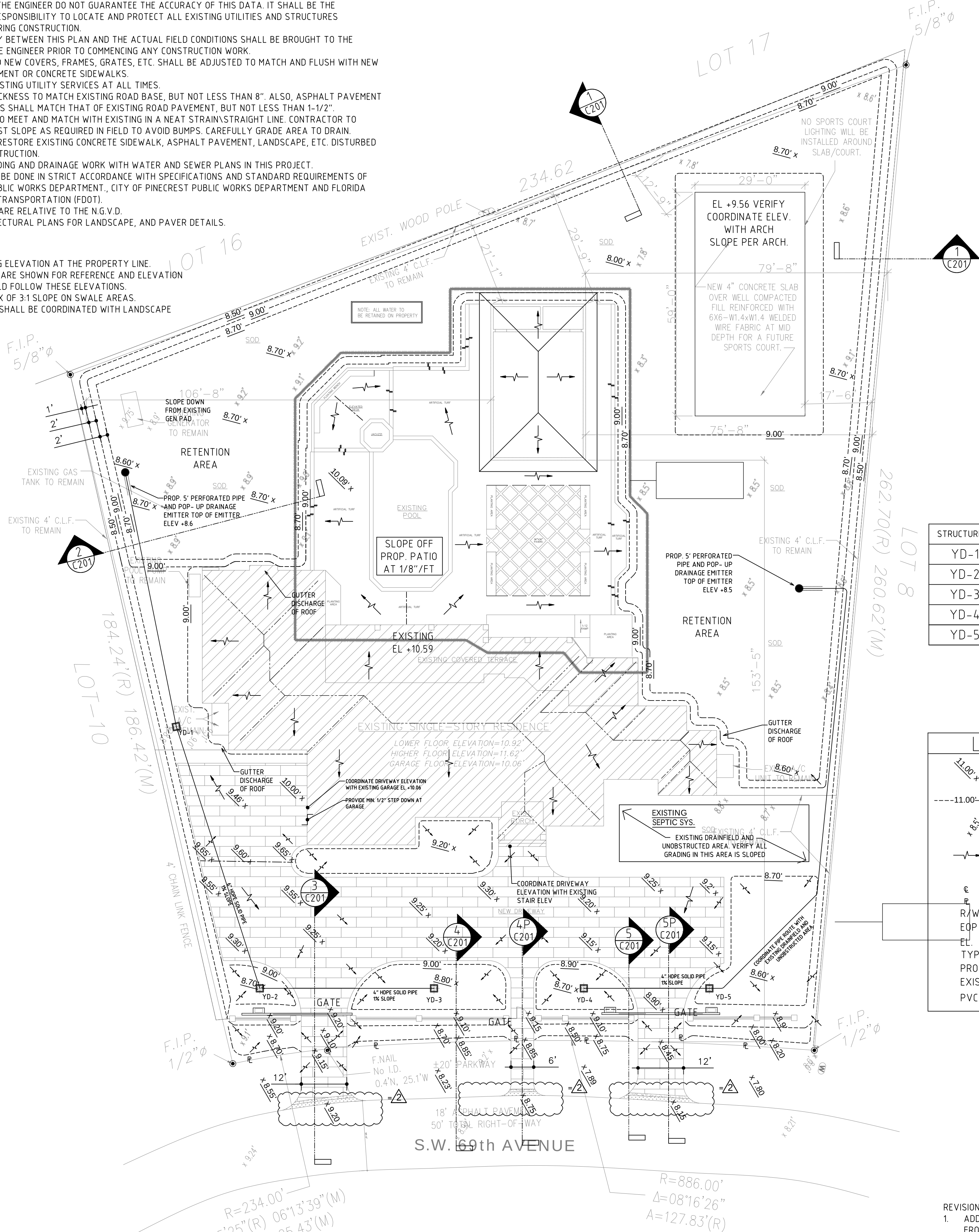
PLAN DESCRIPTION:
EXISTING
SITE PLAN

SHEET:
C-101

1. THE LOCATION, SIZE AND MATERIAL OF EXISTING UTILITIES HAVE BEEN DETERMINED FROM AVAILABLE RECORDS. THE OWNER AND THE ENGINEER DO NOT GUARANTEE THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES ENCOUNTERED DURING CONSTRUCTION.
2. ANY DISCREPANCY BETWEEN THIS PLAN AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO COMMENCING ANY CONSTRUCTION WORK.
3. ALL EXISTING AND NEW COVERS, FRAMES, GRATES, ETC. SHALL BE ADJUSTED TO MATCH AND FLUSH WITH NEW GRADES OF PAVEMENT OR CONCRETE SIDEWALKS.
4. MAINTAIN THE EXISTING UTILITY SERVICES AT ALL TIMES.
5. BASE COURSE THICKNESS TO MATCH EXISTING ROAD BASE, BUT NOT LESS THAN 8". ALSO, ASPHALT PAVEMENT COURSE THICKNESS SHALL MATCH THAT OF EXISTING ROAD PAVEMENT, BUT NOT LESS THAN 1-1/2".
6. NEW PAVEMENT TO MEET AND MATCH WITH EXISTING IN A NEAT STRAIGHT LINE. CONTRACTOR TO ROUND AND ADJUST SLOPE AS REQUIRED IN FIELD TO AVOID BUMPS. CAREFULLY GRADE AREA TO DRAIN.
7. CONTRACTOR TO RESTORE EXISTING CONCRETE SIDEWALK, ASPHALT PAVEMENT, LANDSCAPE, ETC. DISTURBED DURING THE CONSTRUCTION.
8. COORDINATE GRADING AND DRAINAGE WORK WITH WATER AND SEWER PLANS IN THIS PROJECT.
9. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH SPECIFICATIONS AND STANDARD REQUIREMENTS OF DADE COUNTY PUBLIC WORKS DEPARTMENT., CITY OF PINECREST PUBLIC WORKS DEPARTMENT AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT).
10. ALL ELEVATIONS ARE RELATIVE TO THE N.G.V.D.
11. REFER TO ARCHITECTURAL PLANS FOR LANDSCAPE, AND PAVER DETAILS.

ELEVATION NOTES:

1. MATCH EXISTING ELEVATION AT THE PROPERTY LINE.
2. CONTOUR LINES ARE SHOWN FOR REFERENCE AND ELEVATION CHANGES SHOULD FOLLOW THESE ELEVATIONS.
3. MAINTAIN A MAX OF 3:1 SLOPE ON SWALE AREAS.
4. FINAL GRADING SHALL BE COORDINATED WITH LANDSCAPE PLAN.



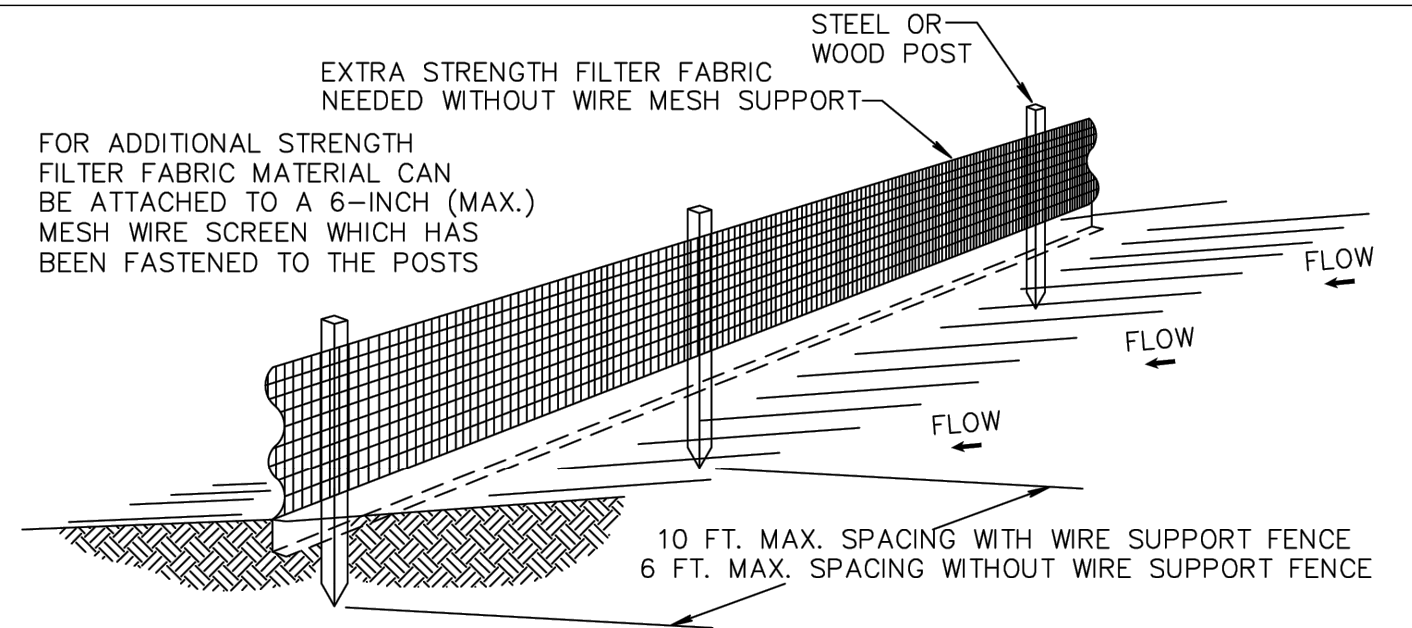
LEGEND			
	PROPOSED ELEVATION		
	PROPOSED ELEV. CONTOUR		
	EXISTING ELEV.		
	FLOW DIRECTION		
	CENTER LINE		
	RIGHT-OF-WAY LINE		
	EDGE OF PAVEMENT		
	DENOTES ELEVATION		
	DENOTES TYPICAL		
	DENOTES PROPOSED		
	DENOTES EXISTING		
	POLYVINYL CHLORIDE		

REVISION 2NOTES:

1. ADDED ASPHALT AT DRIVEWAY TO HAVE A MINIMUM DISTANCE OF 10' FROM THE CENTER OF ROAD TO THE CONCRETE HEADER CURB.
2. ADDED 8X12 HEADER CURB TO DRIVEWAY/STREET INTERSECTION.
3. ADDED ADDITIONAL ELEVATION HEIGHTS TO PLANS

CONDITION OF PERMIT (D/W AND SFR W/ D/W):

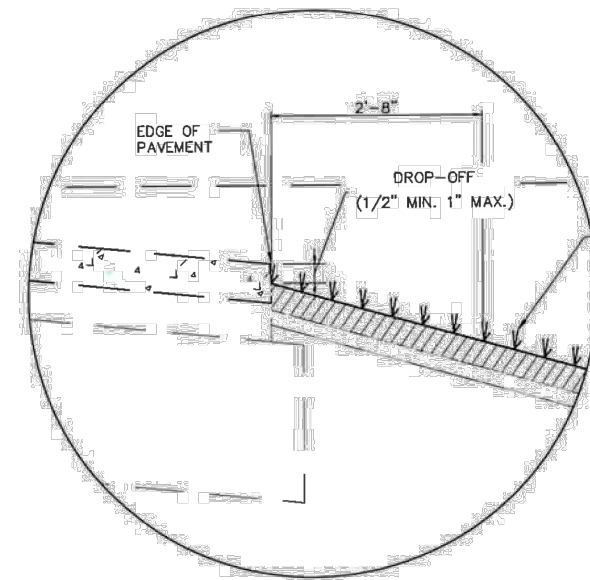
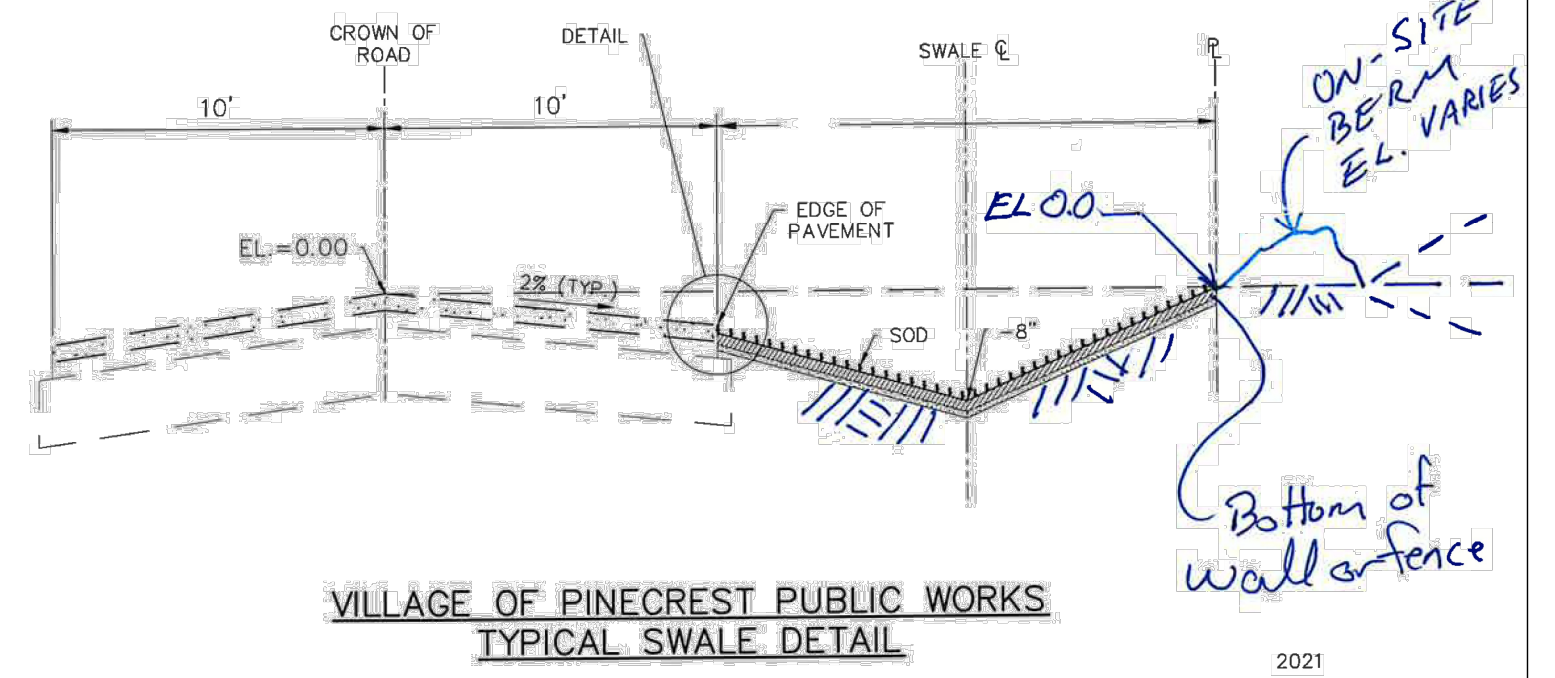
1. NO FILL OF ANY KIND CAN BE BROUGHT ON SITE OR TO THE ROW OUTSIDE OF THE BUILDING FOOTPRINT.
2. NO RUNOFF GENERATED FROM THE DRIVEWAY IS PERMITTED TO DISCHARGE DIRECTLY TO THE ROW OR ADJACENT PROPERTIES.
3. THE ROW SWALE IS TO BE GRADED USING THE VILLAGE PW STANDARD.
4. NO TREES ARE TO BE PLANTED IN THE ROW BEFORE A CONDITIONAL APPROVAL OF THE ROUGH GRADING OF THE SWALE HAS BEEN APPROVED BY PUBLIC WORKS.
5. NO SHRUBS ARE TO BE PLANTED IN THE ROW AND ANY EXISTING SHRUBS ARE TO BE REMOVED.
6. NO IRRIGATION, LIGHTING, OR ELECTRICAL COMPONENTS OF ANY KIND MAY BE INSTALLED IN THE ROW.
7. ALL PROPOSED TREES IN THE ROW WILL BE PLANTED A MINIMUM OF 7' FROM THE EDGE OF PAVEMENT TO THE FACE OF THE TREE AND WILL BE OF A TYPE, KIND, AND SPACING AS APPROVED BY THE PUBLIC WORKS DEPARTMENT. PUBLIC WORKS CONTACT INFORMATION IS: PUBLICWORKS@PINECREST-FL.GOV
8. ANY DECORATIVE D/W IN THE ROW SHALL HAVE AN 8" W X 12" D, 3,000-PSI, FIBER MESH CONCRETE HEADER CURB LOCATED BETWEEN THE ASPHALT AND THE PROPOSED D/W. THE EDGE OF THE HEADER CURB WILL BE A MINIMUM OF 10' FROM THE CENTERLINE OR TO THE EDGE OF THE EXISTING ASPHALT EDGE, WHICHEVER IS GREATER.
9. NO MATERIALS OF ANY KIND WILL BE STORED FOR ANY LENGTH OF TIME ON THE PUBLIC SWALE.
10. EXISTING SIDEWALKS WILL BE MAINTAINED AT ALL TIMES, FREE OF ANY LOOSE MATERIAL, AND OPEN TO PEDESTRIAN TRAFFIC AT ALL TIMES. NO VEHICLES CAN PARK ON THE SIDEWALK AT ANY TIME.
11. ANY SIDEWALK CROSSED BY A D/W APPROACH MUST BE REPLACED WITH 6" THICK SIDEWALK AND EXTEND TO THE NEXT ADJACENT WHOLE FLAG ON EITHER SIDE OF THE NEW APPROACH. LONGITUDINAL SLOPE CANNOT EXCEED 5% AND MAXIMUM CROSS SLOPE IS 2%. ALL SIDEWALK CONSTRUCTION THAT INTERSECTS WITH A CROSSWALK MUST BE PARALLEL WITH THAT CROSS WALK AND WILL HAVE DETECTABLE WARNING SURFACE PLACED PERMANENTLY IN CONCRETE - NO SCREW-DOWN DETECTABLE WARNING SURFACE IS PERMITTED. ALL SIDEWALK IN THE ROW WILL BE A MINIMUM OF 10' FROM THE NEAREST EDGE OF PAVEMENT AND MARKED AS SUCH IN THE SIGNED AND SEALED PLANS.
12. ALL WORK CONDUCTED IN THE ROW WILL IMPLEMENT THE APPLICABLE FDOT STANDARD INDEX 600 SERIES FOR MOT.
13. ALL SIDEWALK REPLACEMENT WILL BE OPEN TO TRAFFIC WITHIN 48 HOURS OF THE SIDEWALK BEING CLOSED FOR DEMO. THIS INCLUDES DEMOLITION OF EXISTING SIDEWALK, PLACING FORMS, PLACING AND FINISHING CONCRETE AND STRIPPING FORMS.
14. NO PORTION OF THE PUBLIC ROW AND CAN BE ENCLOSED BY THE CONTRACTOR'S FENCE AT ANY TIME.
15. ALL SOD IN THE ROW WILL BE SAND GROWN, 'EMPIRE ZOYSIA'
16. ALL DRIVEWAY APPROACHES WILL MEET ALL ADA REQUIREMENTS FOR OBSTRUCTIONS, BOTH VERTICAL AND HORIZONTAL AND FOR SLOPE, BOTH CROSS SLOPE AND LONGITUDINAL.



NOTES:

1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.

1
C102 SILT FENCE DETAIL
SCALE: NTS



2
C102 PINECREST SWALE DETAIL
SCALE: NTS



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305-495-1114

DESIGN CONSTRUCTION BUILD

CLIENT:
WILLIAM & DANIELLA GOMEZ

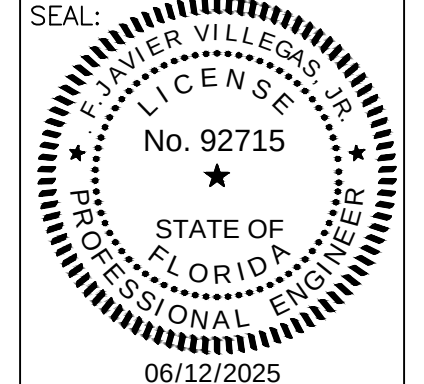
PROJECT NAME:
SFR RENOVATIONS

ADDRESS:
11040 SW 69 AVE
MIAMI, FL.

REVISIONS:
March 2025
JUNE 2025
-
-
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DATE: OCTOBER 2024
SCALE: AS SHOWN
JOB N°: 2425
FILE NAME: D2425
DRAWN BY: UB
CHECKED BY: FJV



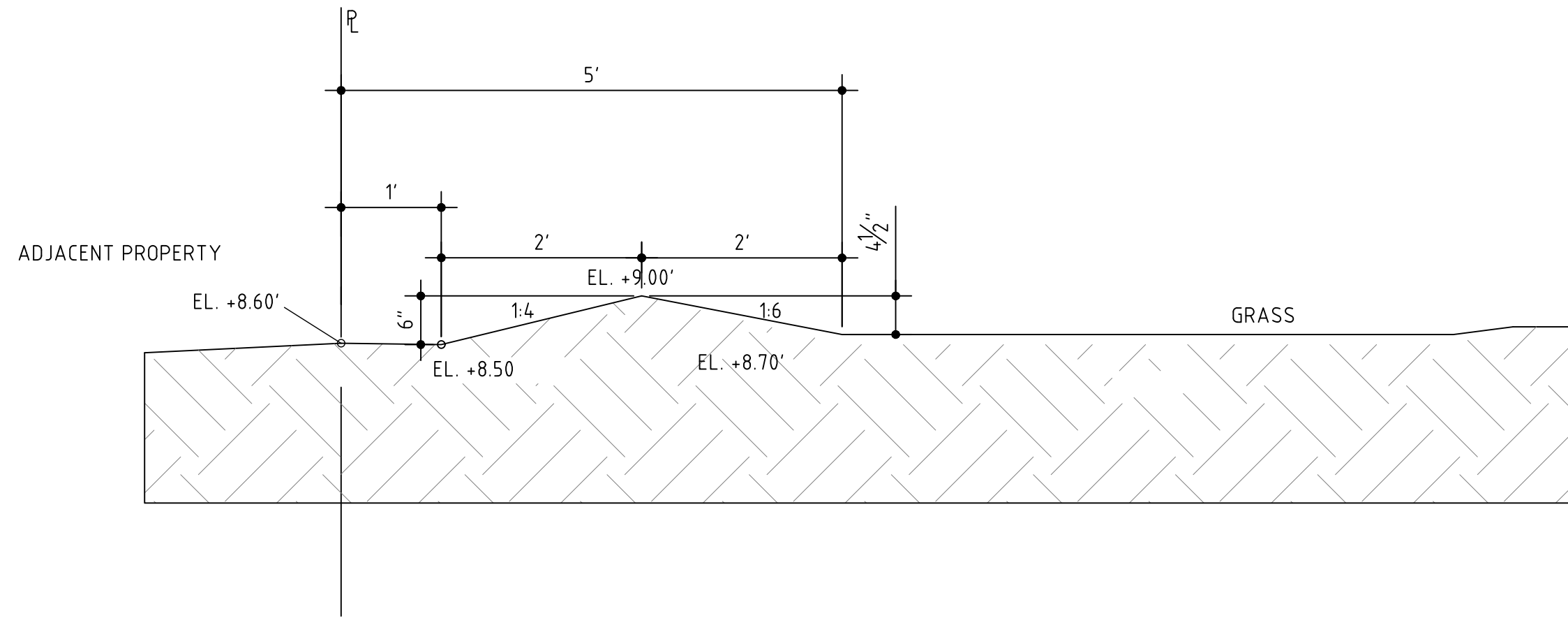
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PLAN DESCRIPTION:
SITE PLAN
PAVING AND
GRADING

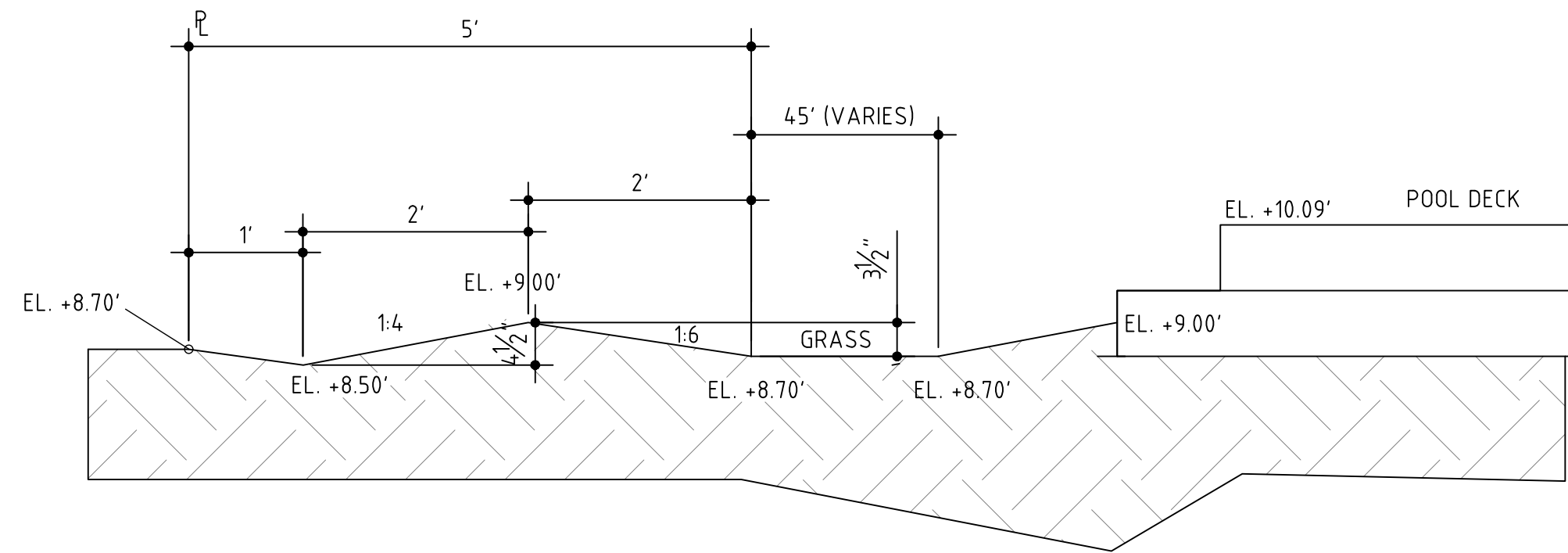
SHEET:
C-102



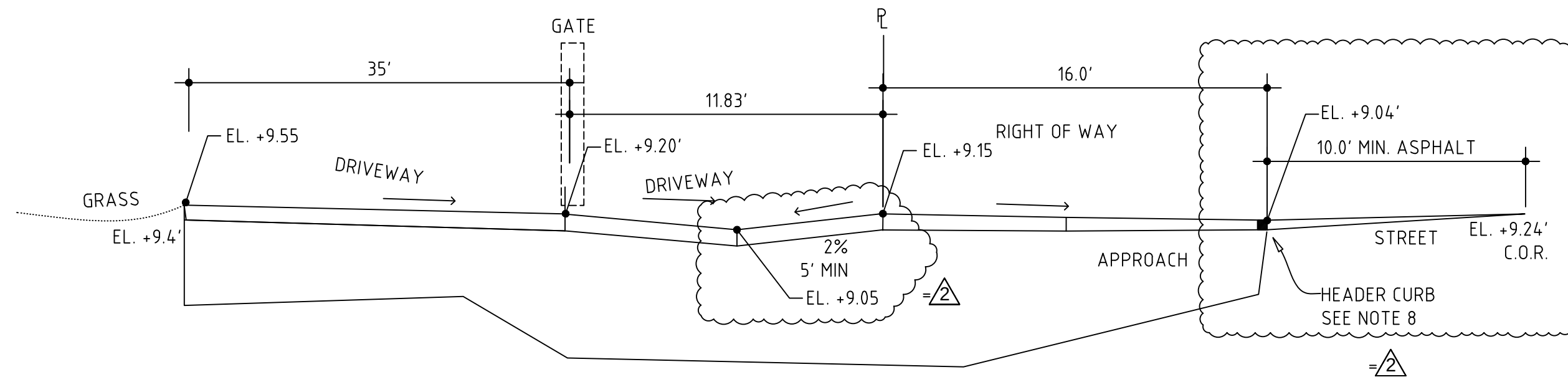
SITE PLAN
SCALE: NTS



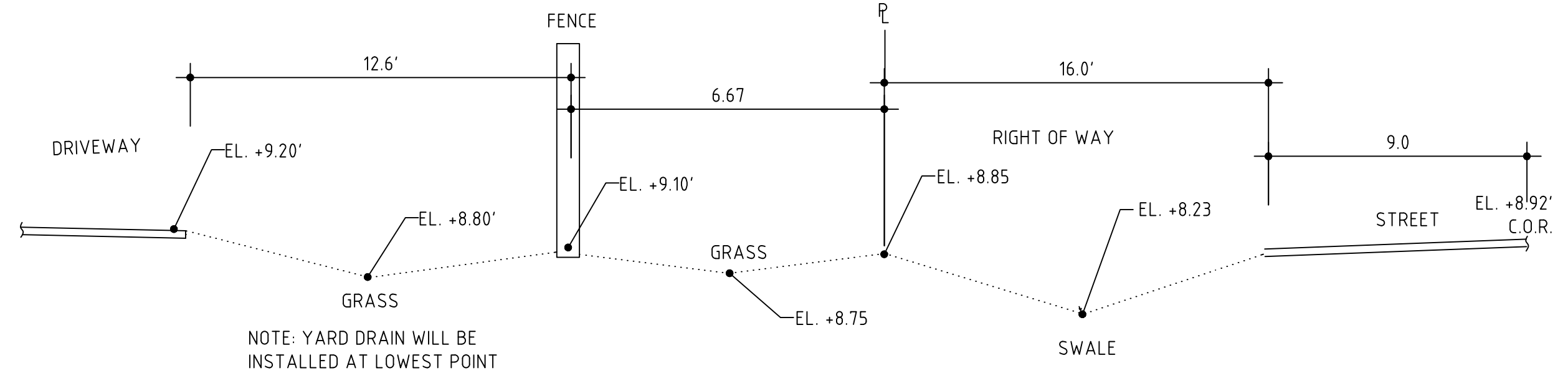
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C201 WEST PROFILE SECTION
SCALE: 3/4 = 1'-0"



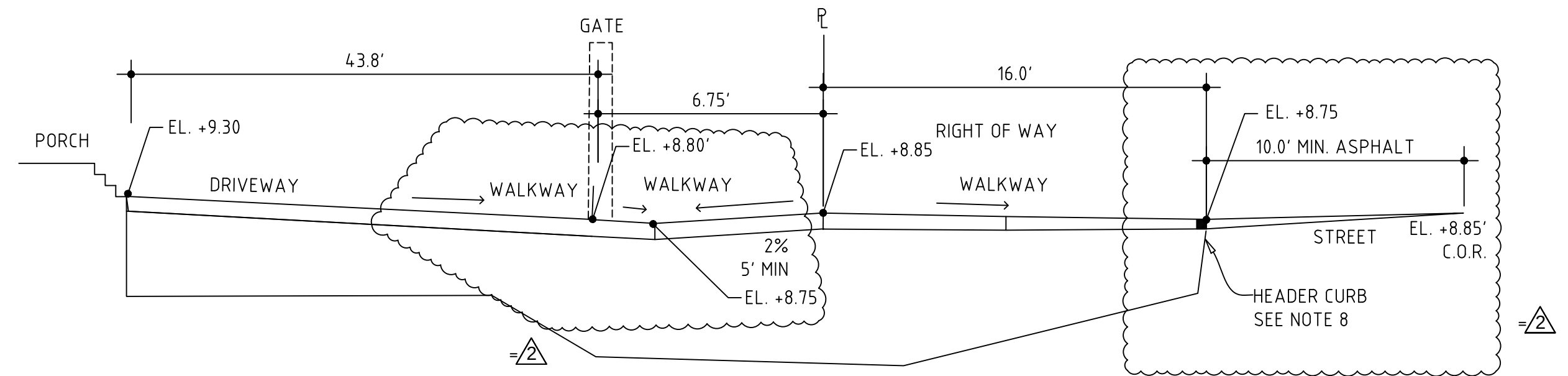
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C201 EAST PROFILE SECTION
SCALE: 3/4 = 1'-0"



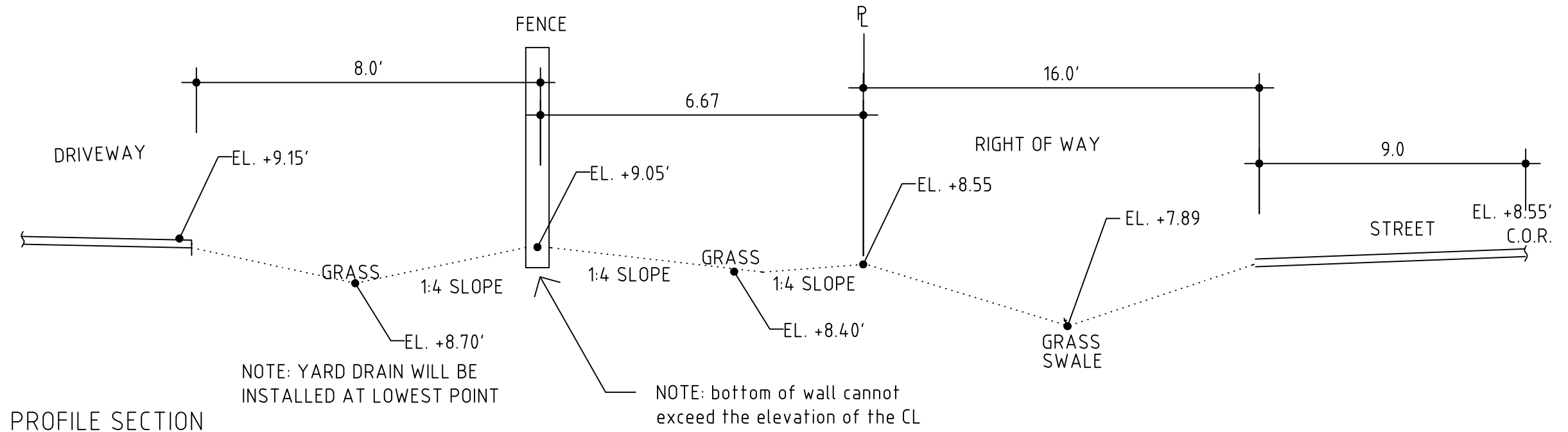
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C201 PROFILE SECTION
SCALE: 3/4 = 1'-0"



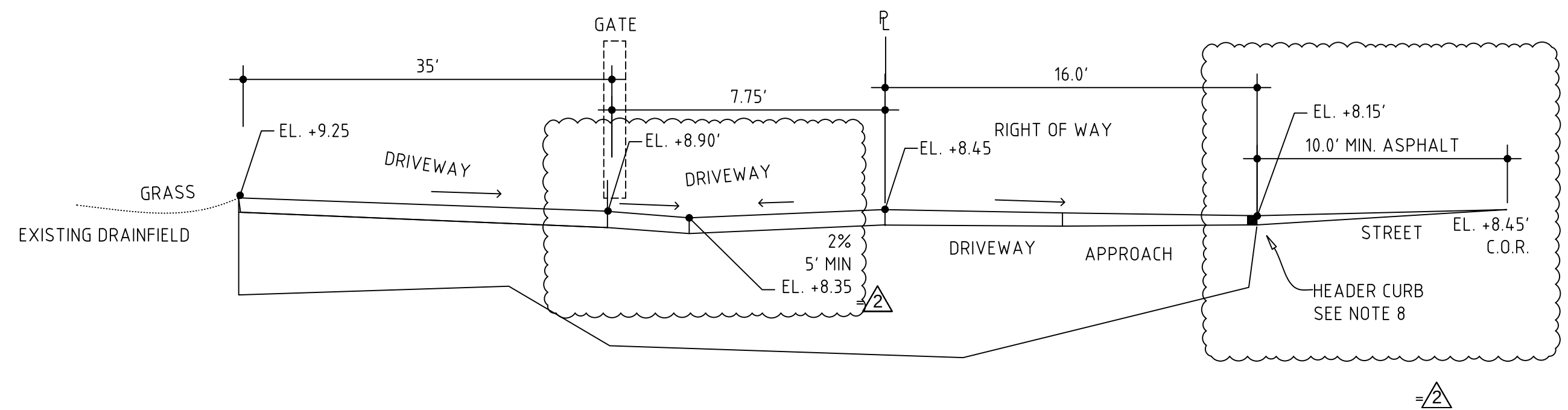
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C201 PROFILE SECTION
SCALE: 3/4 = 1'-0"



4P
C201 PROFILE SECTION
SCALE: 3/4 = 1'-0"



5
C201 PROFILE SECTION
SCALE: 3/4 = 1'-0"



5P
C201 PROFILE SECTION
SCALE: 3/4 = 1'-0"



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REVISIONS:	
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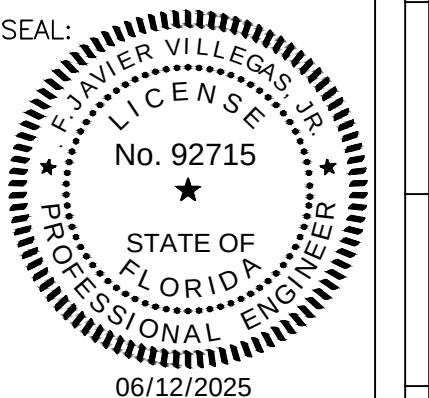
SCALE: AS SHOWN

JOB N°: 2425

FILE NAME: D2425

DRAWN BY: UB

CHECKED BY: FJV



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PLAN DESCRIPTION:
CIVIL
PROFILE SECTIONS

SHEET:
C-201