

# GENERAL NOTES

1. CONTRACTOR SHALL CHECK ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE START OF CONSTRUCTION. THE ENGINEER OF RECORD SHALL BE NOTIFIED OF ERRORS AND/OR OMISSIONS PRIOR TO THE START OF WORK.
2. DRAWINGS ARE NOT TO BE SCALED. ALL WORK SHALL BE LAID OUT BY DIMENSION. ANY VARIATION IN DIMENSION FROM THE APPROVED CONSTRUCTION DOCUMENTS PLANS, SHALL BE CALLED TO THE ENGINEER'S ATTENTION IMMEDIATELY. ALL DISCREPANCIES SHALL BE CORRECTED BEFORE CONTRACTOR PROCEEDS WITH HIS PORTION OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR HIS RESPECTIVE PORTION OF THE WORK AND WILL BE REQUIRED TO MAKE ALL CORRECTIONS TO COMPLY WITH ALL DRAWINGS AT NO ADDITIONAL COST TO THE OWNER.
3. CONTRACTOR SHALL FILE ALL NECESSARY SHOP DRAWINGS AND SPECIFICATIONS WITH THE PROPER AUTHORITIES AND PAY FOR AND OBTAIN ALL PERMITS, CERTIFICATES OF APPROVAL AND OTHER LEGAL NOTICE REQUIRED FOR THIS WORK.
4. NO WORK SHALL COMMENCE UNTIL ALL NECESSARY PERMITS HAVE BEEN OBTAINED.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE GOVERNING BUILDING CODE, CODES AND REGULATIONS OF LOCAL AUTHORITIES. HAVING JURISDICTION CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPROVAL OF ALL INSTALLED MATERIALS. SHOULD A DISCREPANCY OCCUR BETWEEN A SPECIFIED MATERIAL AND A CODE REQUIREMENT, THE GENERAL CONTRACTOR MUST NOTIFY THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK.
6. ALL WORKMANSHIP AND MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF CERTIFICATE OF OCCUPANCY UNLESS SPECIFIED FOR A LONGER PERIOD OF TIME ON SPECIFIED ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING OR REPAIRING HIS OWN DEFECTIVE WORK, AS WELL AS PAY ALL COST INCIDENTAL THERETO, INCLUDING DAMAGE TO OTHER WORK, FURNISHING OR EQUIPMENT.
7. REMOVE ALL EXISTING WALLS, PARTITIONS, DOORS, FLOORING, CEILING, FIXTURES, ETC. AS SHOWN ON THE PLANS OR AS REQUIRED TO CONFORM ACCORDING TO APPROVED CONDITIONS.
8. PATCH OR REPAIR EXISTING CONSTRUCTION WHERE DISTURBED BY NEW WORK AND/OR IS CALLED FOR ON THE DRAWINGS.
9. WHERE EXISTING WORK IS DISTURBED BY NEW WORK, CONTRACTOR SHALL REPAIR WALLS, DOORS, THRESHOLDS, CEILING, TILES, AND GRID AND FLOORING TO INSURE THE PROPER INSTALLATION OF THE WORK.
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE STORAGE OF ALL MATERIAL ON SITE.
11. THE GENERAL CONTRACTOR SHALL CLEAN UP AND HAUL AWAY ALL DEBRIS ON A REGULAR BASIS AND SHALL MAINTAIN THE SITE IN A CLEAR SAFE MANNER.
12. UNLESS OTHERWISE NOTED, THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS SHOWN ON THE DRAWINGS.
13. ALL EQUIPMENT NOTED AS INSTALLED BY THE GENERAL CONTRACTOR SHALL INCLUDE ALL UTILITY CONNECTIONS, LEVELING, AND FINAL INSTALLATION, INCLUDING START-UP.
14. DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE COPIED OR DUPLICATED IN ANY MANNER. THEY SHALL BE USED WITH REFERENCE TO THE WORK UNDER CONSTRUCTION ONLY. MISUSE OR THE LOAN OF THESE DOCUMENTS SHALL OBLIGATE THE VIOLATOR FOR THE FULL FEE TO THE ENGINEER. VARIATION OF THIS AGREEMENT SHALL BE PERMITTED BY WRITTEN CONSENT ONLY.

## SAFETY DURING CONSTRUCTION

15. CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO PROTECT WORKMEN AND THE GENERAL PUBLIC FROM INJURY AND ADJOINING PROPERTY FROM DAMAGE.
16. STANDARD INDUSTRY PRACTICES SHALL BE OBSERVED FOR FLASHING AND WATERPROOFING.
17. GENERAL CONTRACTOR SHALL PROVIDE STRUCTURAL SUPPORT FOR ALL ROOF HOUNTED OR SUSPENDED MECHANICAL AND EQUIPMENT AND VERIFY HIS WORK SUCH THAT THE STRUCTURAL INTEGRITY IF THE BUILDING IS NOT COMPROMISED.
18. GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING AND PLYWOOD BACKING FOR ALL ATTACHMENTS TO WALLS AS REQUIRED.
19. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PERTINENT TO HIS WORK PRIOR TO SUBMITTING BIDS AND FABRICATION OF NEW BUILDING COMPONENTS.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SECURITY WHILE JOB IS IN PROGRESS AND COMPLY WITH ALL O.S.H.A. STANDARDS.

1. GRADING SHOWN ON THESE PLANS ARE PROVIDED TO THE CONTRACTOR TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR SHALL BE EXPECTED TO GRADE THE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER OF THE UTILIZATION OF GRADING EQUIPMENT TO DETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED.
2. ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. THE STANDARD CROWN MAY HAVE TO BE CHANGED IN ORDER TO DRAIN POSITIVELY CROSS THE INTERSECTIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO ACCOMPLISH THE ABOVE AND THE ENGINEER SHALL BE CONSULTED SO THAT HE MAY MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS TO ACCOMPLISH THE INTENT OF THE PLANS.
3. UNIFORMLY SMOOTH GRADE THE SITE. DEPRESSIONS FROM SETTLEMENT SHALL BE FILLED AND COMPACTED. TOPS OF EMBANKMENTS AND BREAKS IN GRADE SHALL BE ROUNDED FINISHED SURFACES SHALL BE REASONABLY SMOOTH, COMPACTED, FREE FROM IRREGULAR SURFACE CHANGES AND COMPARABLE TO THE SMOOTHNESS OBTAINED BY BLADE GRADER OPERATIONS.
4. SLOPE GRADES TO DRAIN AWAY FROM STRUCTURES AT A MINIMUM OF A INCH PER FOOT FOR 10 FEET. FINISHED SURFACES ADJACENT TO PAVED AREAS AND WITHIN 10 FEET OF STRUCTURES SHALL BE WITHIN 1 INCH OF THE PROPOSED GRADE. ALL OTHER AREAS SHALL BE WITHIN 3 INCHES OF THE PROPOSED GRADE.
5. NEWLY GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION. ALL SETTLEMENT OR WASHING AWAY THAT MAY OCCUR FROM ANY CAUSE PRIOR TO SEEDING OR ACCEPTANCE SHALL BE REPAIRED AND GRADES RE- ESTABLISHED TO THE REQUIRED ELEVATIONS AND SLOPES AT NO ADDITIONAL COST TO THE OWNER.

SHEET INDEX:

1. C-001 - CIVIL NOTES AND CALCS
2. C-101 - EXISTING GRADING
3. C-102 - PROPOSED PAVING AND GRADING
4. C-201 - PROFILE SECTIONS



RENOVATING AND ADDING NEW DRIVEWAY, FENCE, BACKYARD PATIO, GAZEBO, AND CONCRETE PAD.

1. INSTALL DRAINAGE EQUIPMENT IN ACCORDANCE WITH PLANS AND ALL APPLICABLE LOCAL CODE REQUIREMENTS
2. GRADE SITE IN ACCORDANCE WITH PLANS TO RETAIN STORM WATER IN ACCORDANCE WITH PINECREST REQUIREMENTS.
3. VERIFY ELEVATIONS NOTED ON PLANS ARE ACCURATE ON SITE PRIOR TO CONSTRUCTION.
4. CONDUCT GROUND STUDY AND VERIFY NO ELECTRICAL/PLUMBING OR OTHER UTILITIES ARE IN LOCATED WHERE PIPING OR OTHER EQUIPMENT IS TO BE INSTALLED.
5. REFER TO PLANS FOR LIMITS OF CONSTRUCTION
6. REFER TO COMPLETE SET OF PLANS FOR CONSTRUCTION DETAILS AND INFORMATION

REFER TO ARCHITECTURAL PLANS

1. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (FS 55360-55364). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
2. ROUGH EXCAVATE AND GRADE ANY PROPOSED STORMWATER PONDS AT THE START OF SITE GRADING ACTIVITIES. DIRECTLY RUN OFF TO THE PONDS TO MINIMIZE RUNOFF TO DEFICITS AREAS.
3. POND CONSTRUCTION SHALL RESULT IN THE FINISHED POND HAVING SIDE SLOPES AND DIMENSIONS THAT ARE IN CONFORMANCE WITH THE CONSTRUCTION DRAWINGS. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT THESE REQUIREMENTS HAVE BEEN MET. IF THE CONSTRUCTED SIDE SLOPES ARE STEEPER THAN THE REQUIRED SIDE SLOPES, OR THE POND VOLUME IS NOT WITHIN THREE (3) PERCENT OF THE DESIGN VOLUME, THE CONTRACTOR MAY BE REQUIRED TO MAKE CORRECTIONS TO THE POND AT NO ADDITIONAL COST TO THE OWNER. FIELD MEASURING AND TESTING FREQUENCIES: A) ONE TEST PER EACH 10,000 SQUARE FEET OR FRACTION THEREOF PER LINEAL FOOT OF GENERAL BACKFILL IN THE PONDS; EACH LAYER, B) ONE TEST PER EACH 100 SQUARE FEET OR FRACTION THEREOF OF BACKFILL AROUND AND UNDER STRUCTURES; C) ONE TEST PER EACH 300 LINEAL FEET OR FRACTION THEREOF PER LIFT OF GENERAL BACKFILL IN THE PIPELINE TRENCH, D) ONE TEST PER LIFT PER EACH CHANGE IN TYPE OF FILL; E) ONE TEST PER 1000 SQUARE FEET OF PAVEMENT SUBGRADE, MINIMUM OF 2 TESTS.
5. IT IS INTENDED THAT PREVIOUSLY EXCAVATED MATERIALS CONFORMING TO THE FOLLOWING REQUIREMENTS BE UTILIZED WHEREVER POSSIBLE:
  6. A. ACCEPTABLE MATERIALS: AASHTO M55 CLASSIFICATION A-1, A-3, A-2, A-4, A-5, A-6, A-7, A-8, ASTM D2487 CLASSIFICATION GP, GM, GC, SM, SW, PL, UNLESS OTHERWISE DISAPPROVED WITHIN THE SOIL AND SUBSURFACE INVESTIGATION REPORTS. NO MORE THAN 12% OF ACCEPTABLE MATERIALS SHALL PASS THE NUMBER 200 SIEVE.
  8. UNACCEPTABLE MATERIALS: AASHTO M55 CLASSIFICATION A-2, A-5, A-2, A-4, A-5, A-6, A-7, A-8, ASTM D2487 CLASSIFICATION GC, SC, ML, MH, CL, CH, OL, PT, UNLESS OTHERWISE APPROVED WITHIN THE SOIL AND SUBSURFACE INVESTIGATION REPORTS.
  9. PROVIDE BARRIERS, WARNING LIGHTS AND OTHER PROTECTIVE DEVICES AT ALL EXCAVATIONS.
  10. SIDEWALKS, ROADS, STREETS, AND PAVEMENTS SHALL NOT BE BLOCKED OR OBSTRUCTED BY EXCAVATED MATERIALS, EXCEPT AS AUTHORIZED BY THE ENGINEER, IN WHICH CASE ADEQUATE TEMPORARY PROVISIONS MUST BE MADE FOR SATISFACTORY TEMPORARY PASSAGE OF PEDESTRIANS, AND VEHICLES. MINIMIZE INCONVENIENCE TO PUBLIC TRAFFIC OR TO TENANTS OCCUPYING ADJOINING PROPERTY.
  11. FURNISH, INSTALL, AND MAINTAIN, WITHOUT ADDITIONAL COMPENSATION, SHEETING, BRACING, AND SHORING SUPPORTS REQUIRED TO KEEP EXCAVATIONS PROPERLY SHORED AND SUPPORTED, TO SUPPORT THE SIDES OF THE EXCAVATION, AND TO PREVENT ANY MOVEMENT WHICH MAY DAMAGE ADJACENT PAVEMENTS OR STRUCTURES, DAMAGE OR DELAY THE WORK, OR ENDANGER LIFE AND HEALTH. VOIDS UNDER THE SUPPORTS SHALL BE IMMEDIATELY FILLED AND COMPACTED.
  12. ALL EXCAVATIONS SHALL BE MADE BY OPEN CUT UNLESS OTHERWISE INDICATED. SLOPE SIDES OF TRENCHES IN ACCORDANCE WITH OSHA REQUIREMENTS AND THE RECOMMENDATIONS CONTAINED WITHIN THE PROJECT GEOTECHNICAL REPORT.
  13. EXCAVATE TRENCHES TO DEPTH INDICATED OR REQUIRED FOR INDICATED FLOW LINES AND INVERT ELEVATIONS. OVER EXCAVATE TRENCHES A MINIMUM OF 2 FEET WHERE EXCAVATIONS CONTAIN UNDESIRABLE SOILS, AND REPLACE OVER EXCAVATED MATERIAL WITH SUITABLE SOILS.
  14. EXCEPT AS OTHERWISE INDICATED, EXCAVATE FOR PRESSURE PIPING SO TOP OF PIPING IS MINIMUM 3 FEET BELOW FINISHED GRADE.
  15. EXCAVATE TRENCHES AND THE BOTTOMS OF ALL STRUCTURES SHALL BE KEPT DRY, COMPACTED, AND STABLE TO A DEPTH TWO FEET BELOW THE BOTTOM OF THE TRENCH OR STRUCTURE.
  16. ALL BEDDING, FILL, AND BACKFILL MATERIAL SHALL BE SUITABLE SOILS OR FLOWABLE FILL. WHERE TRENCH OR EXCAVATION IS WITHIN THE INFLUENCE AREA OF ROADWAYS, STRUCTURES, FOUNDATIONS, OR SLABS, PLACE BACKFILL IN LAYERS OF 8 INCH LOOSE DEPTH. IN ALL OTHER AREAS, PLACE FILL AND BACKFILL IN LAYERS OF 12 INCH LOOSE DEPTH.
  17. MINIMUM DENSITY REQUIREMENT (ASTM D1557 OR AASHTO T980) BACKFILL AND FILL UNDER AND WITHIN THE INFLUENCE AREA OF ROADWAYS, STRUCTURES, SLABS, FOUNDATIONS - 98 PERCENT; BACKFILL AND FILL PLACED WITHIN PUBLIC ROAD RIGHT-OF-WAY AND UTILITY EASEMENTS - 95 PERCENT; BACKFILL AND FILL PLACED WITHIN POND AND ROAD EMBANKMENT - 95 PERCENT; BACKFILL AND FILL PLACED IN ALL OTHER AREAS - 90 PERCENT.

Upon construction completion but prior to final approval for the project, the applicant shall submit to the Village: (1) an overall certification signed and sealed by the EOR that the project has been constructed according to the approved plans (2) a signed and sealed survey by a Florida registered PSM with spot elevations every 25 feet throughout the property, as well as at planned/constructed dry retention areas and (3) a site review with the VoP stormwater management reviewer. The permitted plans, the survey and EOR letter MUST be present for the FINAL STORMWATER Inspection.

Public Works Conditions of Permit - SFR - D/W

Public Works Conditions of Permit - SFR - D/W

1. No fill of ANY KIND can be brought on site or to the ROW outside of the building footprint.
2. No runoff generated from the driveway is permitted to discharge directly to the ROW or adjacent properties.
3. The ROW swale is to be graded using the Village PW Standard.
4. No trees are to be planted in the ROW before a conditional approval of the rough grading of the swale has been approved by Public Works.
5. No shrubs are to be planted in the ROW and any existing shrubs are to be removed.
6. No IRRIGATION, LIGHTING, or ELECTRICAL COMPONENTS of any kind may be installed in the ROW.
7. All proposed trees in the ROW will be planted a minimum of 7' from the edge of pavement to the face of the tree and will be of a type, kind, and spacing as approved by the Public Works Department. Public Works contact information is:  
[publicworks@pinedcrest-fl.gov](mailto:publicworks@pinedcrest-fl.gov)

EXCAVATION & FILL ORDINANCE of the VoP:

c) Maintenance of natural grade and elevation. Development and construction in the Village of Pinecrest shall be designed and constructed with an elevation and grading that are consistent with the requirements of the Village's Floodplain Management Ordinance, Stormwater Management Plan, and Comprehensive Development Master Plan. The established natural elevation and grade of a property under construction shall be fundamentally preserved and the finished grade and elevation shall be consistent and compatible with the grade and elevation of adjoining properties.

|                                                                                    |                 |                     |                       |
|------------------------------------------------------------------------------------|-----------------|---------------------|-----------------------|
| <b>Storm Drainage Calculations</b>                                                 |                 |                     |                       |
| <b>Address:</b>                                                                    | 11040 SW 69 Ave |                     |                       |
| <b>Project Description:</b>                                                        |                 |                     |                       |
| Single Family Residence with driveway expansion and new back yard patio and garage |                 |                     |                       |
| <b>Pre-Development (Existing Area)</b>                                             |                 |                     |                       |
| Total Site Area:                                                                   | 42,368 SF       | 0.97264             | acres                 |
| Total Pervious Area:                                                               | 30,339 SF       | 0.69649             | acres                 |
| Total Impervious Area:                                                             | 12,029 SF       | 0.27615             | acres                 |
| <b>Proposed Conditions:</b>                                                        |                 |                     |                       |
| Total Site Area:                                                                   | 42,368 SF       | 0.97264             | acres                 |
| Total Pervious Area:                                                               | 23,302 SF       | 0.53494             | acres                 |
| Total Impervious Area:                                                             | 19,066 SF       | 0.4377              | acres                 |
| <b>Runoff Calculations</b>                                                         |                 |                     |                       |
| Rainfall Required Amount (P) =                                                     | 9.5             | Inches              |                       |
| Average October Water Table                                                        | 2.5'            | NGVD                |                       |
| Avg Depth to Water Table                                                           | (6.5' + 7')/2 = | 6.75'               |                       |
| Compacted Soil Storage                                                             | 8,180           | ft                  |                       |
| 25-yr-24 hour storm, P, inc. =                                                     | 9.5 in.         | (from SFWMD Manual) |                       |
| Compacted soil factor, SPC, in. =                                                  | 8.18 in.        | (from SFWMD Manual) |                       |
| <b>Existing Conditions</b>                                                         |                 |                     |                       |
| S = (Pervious Area/Site Area)*(Compacted Soil Storage) =                           |                 |                     | 5.85756               |
| S(Exist.) =                                                                        | 5.9 inch        |                     |                       |
| Runoff (R) =                                                                       | 4.9 inch        |                     |                       |
| Volume of Runoff (V) =                                                             | 17263.5         | CF                  |                       |
| <b>Proposed Conditions:</b>                                                        |                 |                     |                       |
| S = (Pervious Area/Site Area)*(Compacted Soil Storage) =                           |                 |                     | 4.49892               |
| S(Prop.) =                                                                         | 4.5 inch        |                     |                       |
| Runoff (R) =                                                                       | 5.6 inch        |                     |                       |
| Volume of Runoff (V) =                                                             | 19935.8         | CF                  |                       |
| <b>Prop.</b>                                                                       | <b>Exist.</b>   |                     |                       |
| 19935.8                                                                            | -17263.5        | 2672.3              | CF                    |
| 1.0 in x LOT SF / 12in/ft =                                                        | 3530.7          | CF                  |                       |
| 2.5 in x IMP PROP. / 12in/ft=                                                      | 3972.1          | CF                  | <b>Greatest Value</b> |
| <b>Provided Storage:</b>                                                           |                 |                     |                       |
| Swale Area Storage = (Top Area + Bottom Area)/2 * Depth of Swale Area              |                 |                     |                       |
| Top Area                                                                           | 17,775.00       | sf                  |                       |
| Bottom Area                                                                        | 14109           | sf                  |                       |
| Depth of Swale Average =                                                           | 0.3             | ft                  |                       |
| Swale Area Storage =                                                               | 4782.6          | cu ft               |                       |
| Concrete Pad                                                                       |                 |                     |                       |
| <b>4782.6 PROP.</b>                                                                |                 | <b>3972.1 REQ'D</b> |                       |
| <b>PROPOSED STORAGE EXCEEDS REQ'D.</b>                                             |                 |                     |                       |

CLIENT:

WILLIAM & DANIELLA  
GOMEZ

## SFR RENOVATIONS

11040 SW 69 AVE  
MIAMI, FL.

1 MARCH 2025

|                                                                                       |  |
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DATE: OCTOBER 2024

SCALE: AS SHOWN

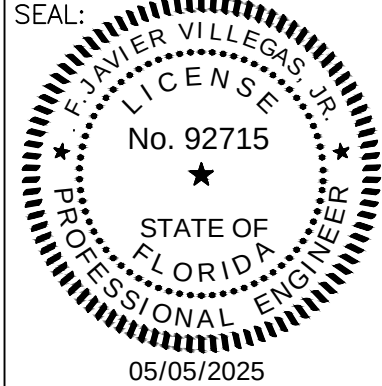
JOB N°: 24

FILE NAME:

DRAWN BY: U

CHECKED BY: FJ

SEAL:



FL. REG. P.E. # 92715  
THIS ITEM HAS BEEN DIGITALLY  
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VILLEGAS JR, P.E. ON THE DATE  
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**CIVIL COVER PAGE  
AND NOTES**

**C-001**





CLIENT:

WILLIAM & DANIELLA  
GOMEZ

PROJECT NAME:

SFR RENOVATIONS

ADDRESS:

11040 SW 69 AVE  
MIAMI, FL.

| REVISIONS:                                                                              |   |
|-----------------------------------------------------------------------------------------|---|
| =  | - |
| =  | - |
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|             |              |
|-------------|--------------|
| DATE:       | OCTOBER 2024 |
| SCALE:      | AS SHOWN     |
| JOB N°:     | 2425         |
| FILE NAME:  | D2425        |
| DRAWN BY:   | UB           |
| CHECKED BY: | FJV          |

SEAL: 

05/05/2025

FL. REG. P.E. # 92715

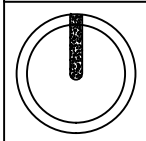
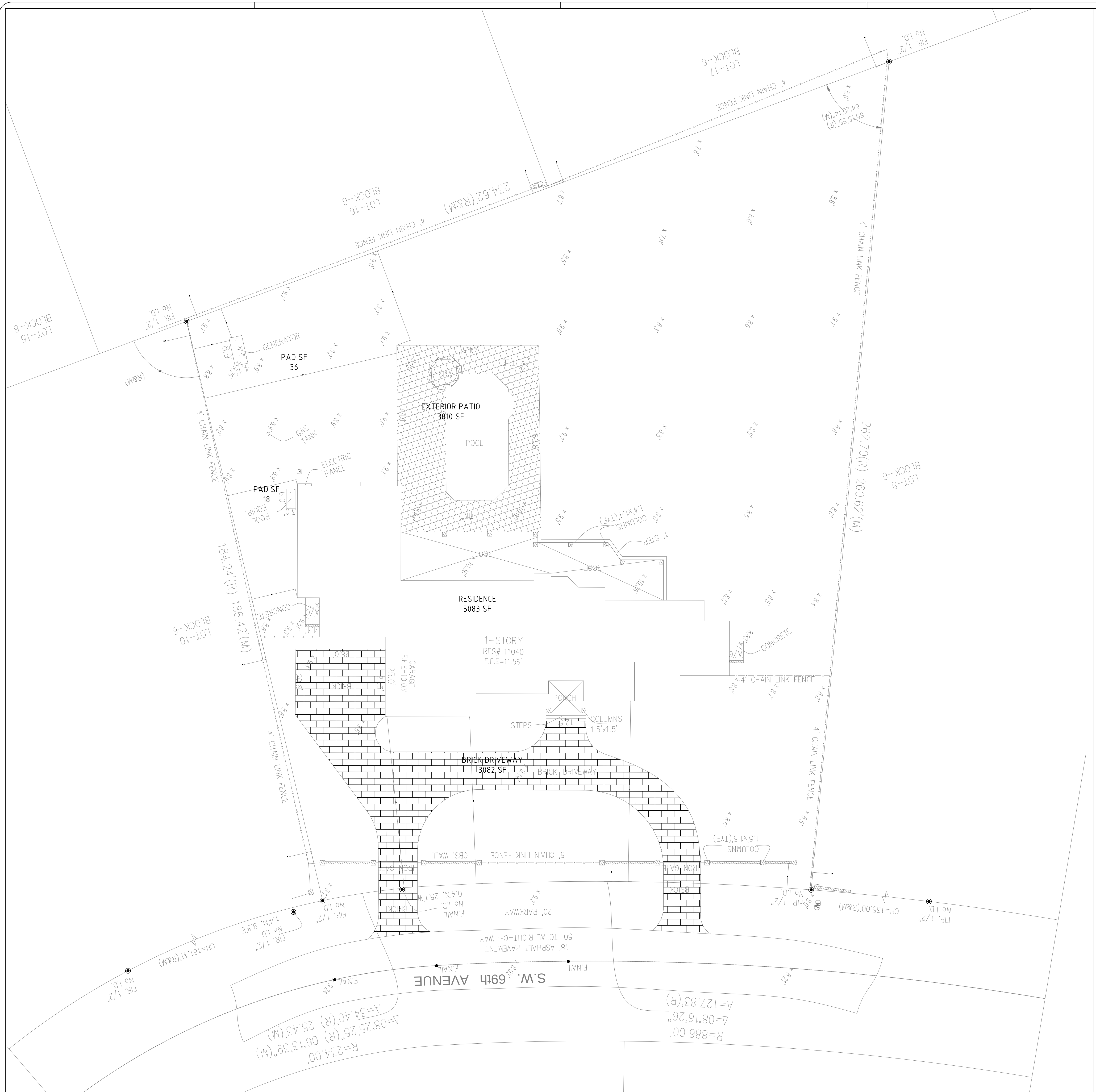
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PLAN DESCRIPTION:

**EXISTING  
SITE PLAN**

SHEET:  
**C-101**

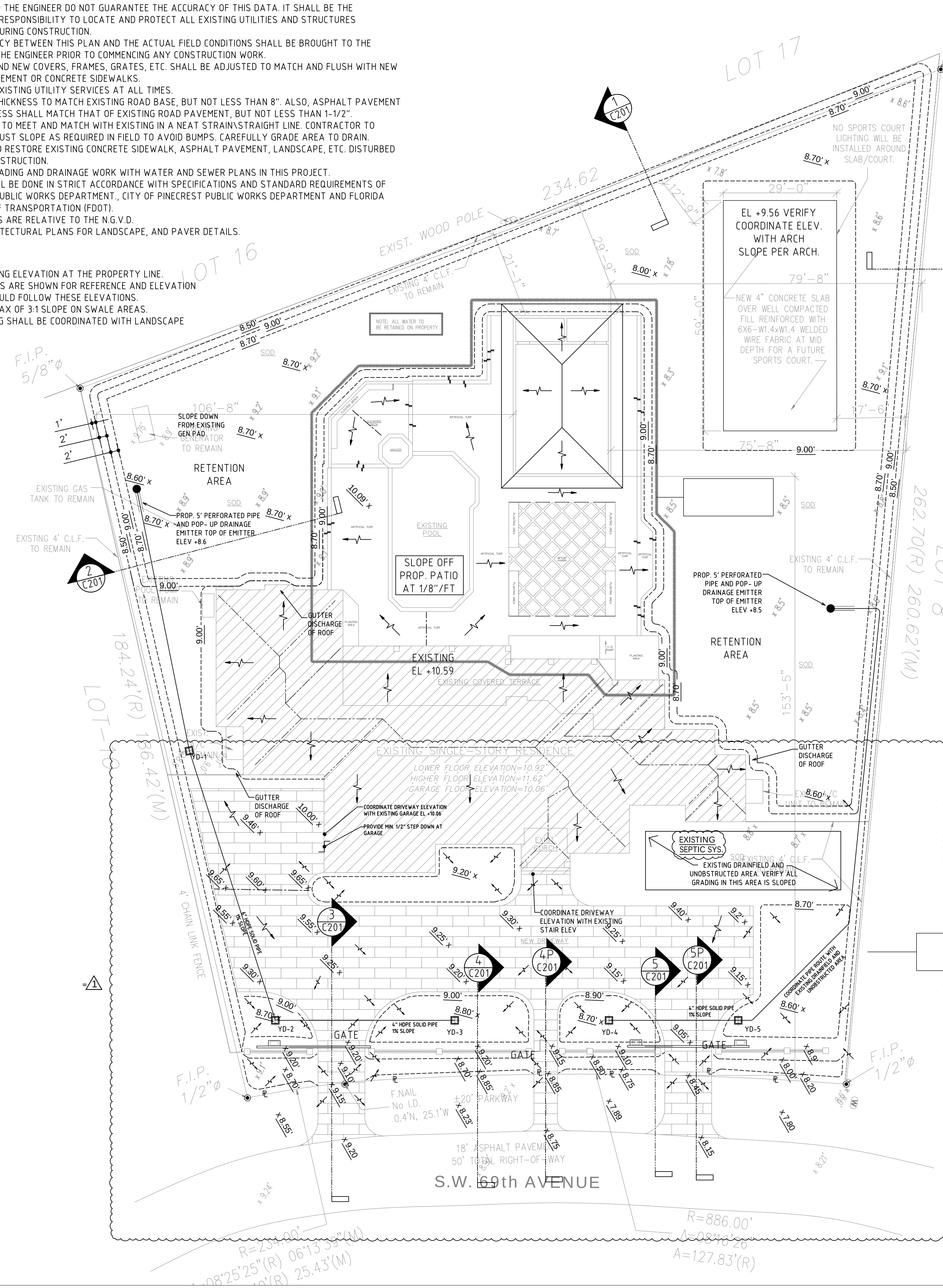


EXISTING SITE PLAN  
SCALE: 1/16" = 1'-0"



1. THE LOCATION, SIZE AND MATERIAL OF EXISTING UTILITIES HAVE BEEN DETERMINED FROM AVAILABLE RECORDS. THE OWNER AND THE ENGINEER DO NOT GUARANTEE THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES ENCOUNTERED DURING CONSTRUCTION.
2. ANY DISCREPANCY BETWEEN THIS PLAN AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO COMMENCING ANY CONSTRUCTION WORK.
3. ALL EXISTING AND NEW COVERS, FRAMES, GRATES, ETC. SHALL BE ADJUSTED TO MATCH AND FLUSH WITH NEW GRADES OF PAVEMENT OR CONCRETE SIDEWALKS.
4. MAINTAIN THE EXISTING UTILITY SERVICES AT ALL TIMES.
5. BASE COURSE THICKNESS TO MATCH EXISTING ROAD BASE, BUT NOT LESS THAN 8". ALSO, ASPHALT PAVEMENT COURSE THICKNESS SHALL MATCH THAT OF EXISTING ROAD PAVEMENT, BUT NOT LESS THAN 1-1/2".
6. NEW PAVEMENT TO MEET AND MATCH WITH EXISTING IN A NEAT STRAIN/STRAIGHT LINE. CONTRACTOR TO ROUND AND ADJUST SLOPE AS REQUIRED IN FIELD TO AVOID BUMPS. CAREFULLY GRADE AREA TO DRAIN.
7. CONTRACTOR TO RESTORE EXISTING CONCRETE SIDEWALK, ASPHALT PAVEMENT, LANDSCAPE, ETC. DISTURBED DURING THE CONSTRUCTION.
8. COORDINATE GRADING AND DRAINAGE WORK WITH WATER AND SEWER PLANS IN THIS PROJECT.
9. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH SPECIFICATIONS AND STANDARD REQUIREMENTS OF DADE COUNTY PUBLIC WORKS DEPARTMENT, CITY OF PINECREST PUBLIC WORKS DEPARTMENT AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT).
10. ALL ELEVATIONS ARE RELATIVE TO THE N.G.V.D.
11. REFER TO ARCHITECTURAL PLANS FOR LANDSCAPE, AND PAVER DETAILS.

- ELEVATION NOTES:
1. MATCH EXISTING ELEVATION AT THE PROPERTY LINE.
  2. CONTOUR LINES ARE SHOWN FOR REFERENCE AND ELEVATION CHANGES SHOULD FOLLOW THESE ELEVATIONS.
  3. MAINTAIN A MAX OF 3:1 SLOPE ON SWALE AREAS.
  4. FINAL GRADING SHALL BE COORDINATED WITH LANDSCAPE PLAN.

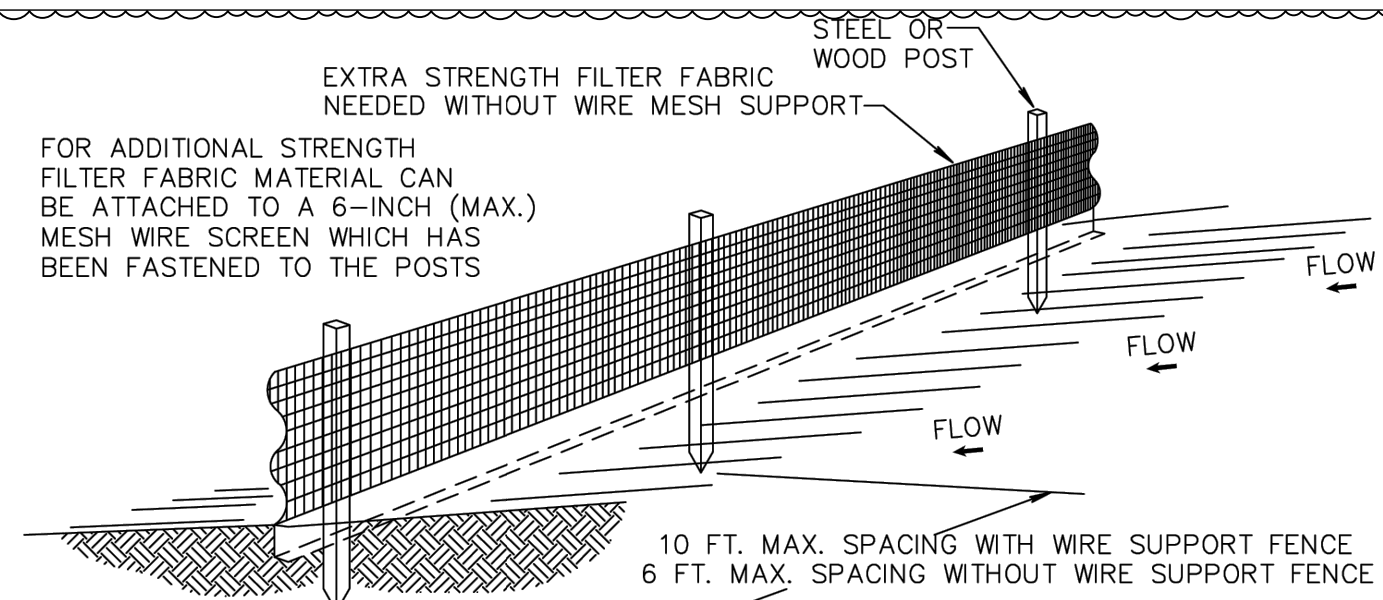


| STRUCTURE ID | RIM ELEVATION | TYPE/MANUF             | DETAILS                  |
|--------------|---------------|------------------------|--------------------------|
| YD-1         | 8.70          | SPEE-D BASIN 201 - ADS | 6"Ø DRAIN GRATE TWO WAY  |
| YD-2         | 9.00          | SPEE-D BASIN 250 - ADS | 6"Ø 90 DEG TWO-WAY BASIN |
| YD-3         | 9.10          | SPEE-D BASIN 101 - ADS | 6"Ø DRAIN GRATE ONE WAY  |
| YD-4         | 9.00          | SPEE-D BASIN 101 - ADS | 6"Ø DRAIN GRATE ONE WAY  |
| YD-5         | 8.90          | SPEE-D BASIN 201 - ADS | 6"Ø TWO-WAY BASIN        |

| LEGEND |                         |
|--------|-------------------------|
|        | PROPOSED ELEVATION      |
|        | PROPOSED ELEV. CONTOUR  |
|        | EXISTING ELEV.          |
|        | FLOW DIRECTION          |
|        | CENTER LINE             |
|        | PROPERTY LINE           |
|        | RIGHT-OF-WAY LINE       |
|        | EDGE OF PAVEMENT        |
|        | EL DENOTES ELEVATION    |
|        | TYP. DENOTES TYPICAL    |
|        | PROP. DENOTES PROPOSED  |
|        | EXIST. DENOTES EXISTING |
|        | PVC POLYVINYL CHLORIDE  |

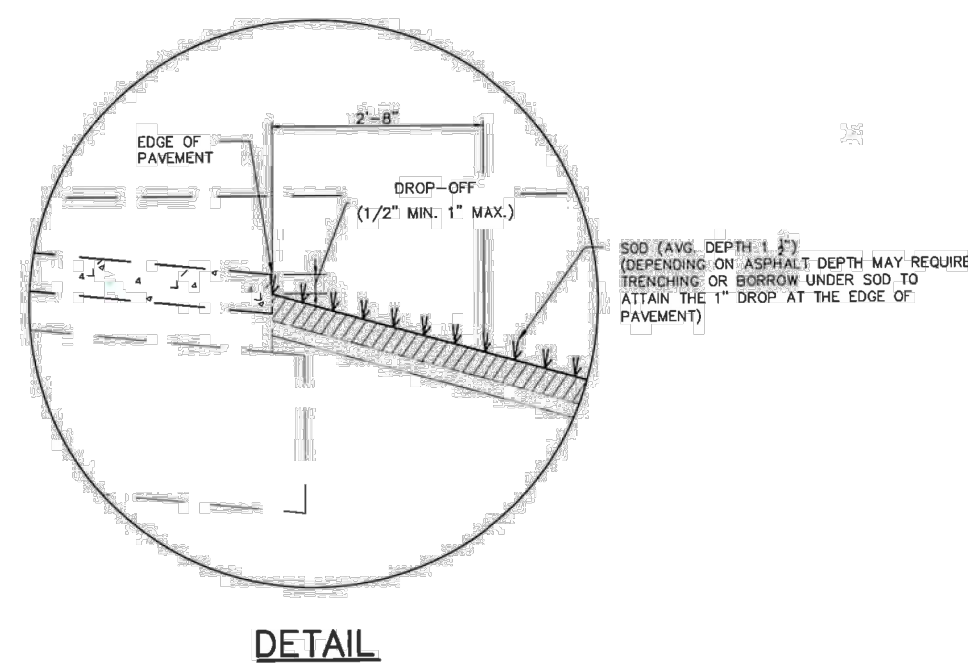
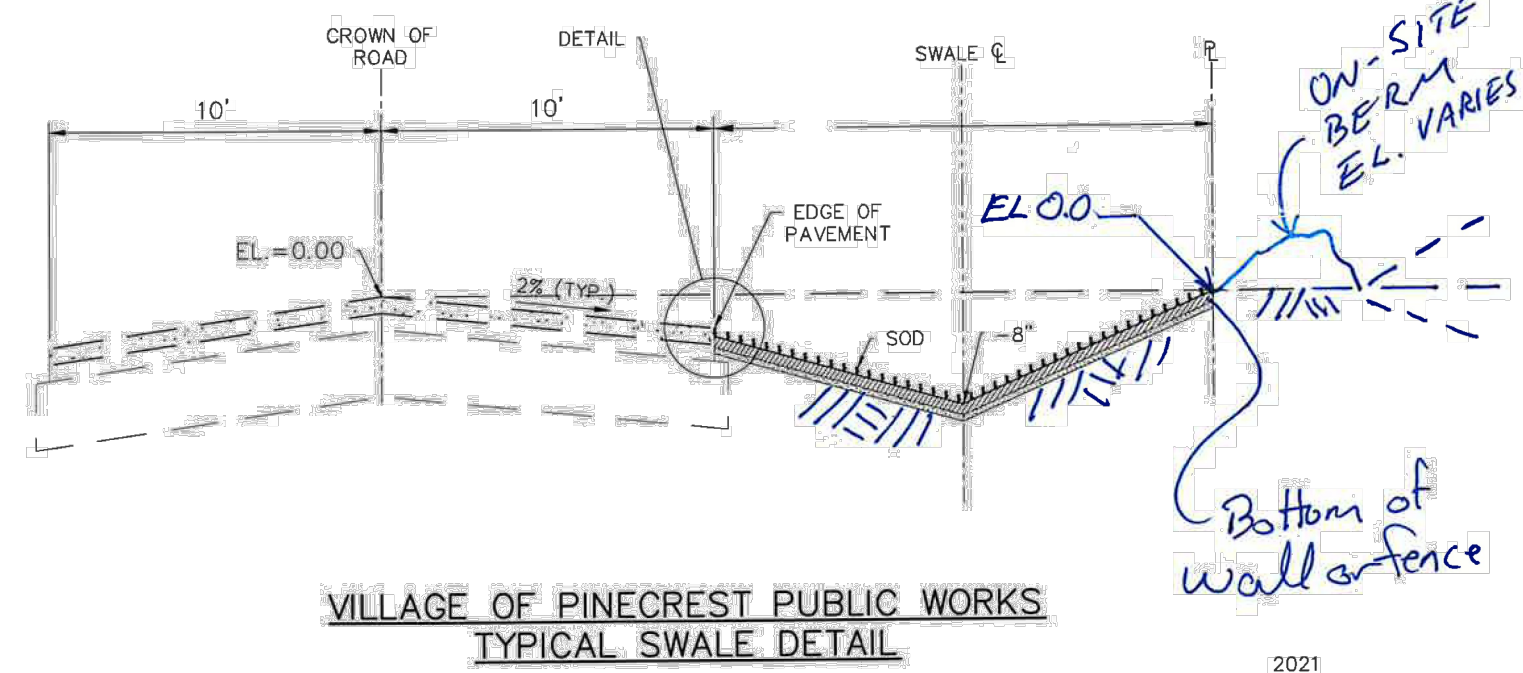
- REVISION 1 NOTES:
1. UPDATED CONDITION OF PERMIT (D/W AND SFR W/ D/W) NOTES.
  2. RELOCATED YARD DRAINS TOWARD FENCE SIDE AWAY FROM GREEN AREA IN FRONT OF HOUSE (AND EXISTING SEPTIC AREA).
  3. ADDED 2 ADDITIONAL YARD DRAINS FOR TOTAL OF 5 YDS.
  4. GRADED THE PROPERTY LINE TO BE IN LINE WITH THE COR
  5. GRADED THE DRIVEWAY TO DRAIN AWAY FRONT FRONT OF HOUSE

- CONDITION OF PERMIT (D/W AND SFR W/ D/W):
- PUBLIC WORKS CONDITIONS OF PERMIT - SFR - D/W
1. NO FILL OF ANY KIND CAN BE BROUGHT ON SITE OR TO THE ROW OUTSIDE OF THE BUILDING FOOTPRINT.
  2. NO RUNOFF GENERATED FROM THE DRIVEWAY IS PERMITTED TO DISCHARGE DIRECTLY TO THE ROW OR ADJACENT PROPERTIES.
  3. THE ROW SWALE IS TO BE GRADED USING THE VILLAGE PW STANDARD.
  4. NO TREES ARE TO BE PLANTED IN THE ROW BEFORE A CONDITIONAL APPROVAL OF THE ROUGH GRADING OF THE SWALE HAS BEEN APPROVED BY PUBLIC WORKS.
  5. NO SHRUBS ARE TO BE PLANTED IN THE ROW AND ANY EXISTING SHRUBS ARE TO BE REMOVED.
  6. NO IRRIGATION, LIGHTING, OR ELECTRICAL COMPONENTS OF ANY KIND MAY BE INSTALLED IN THE ROW.
  7. ALL PROPOSED TREES IN THE ROW WILL BE PLANTED A MINIMUM OF 7' FROM THE EDGE OF PAVEMENT TO THE FACE OF THE TREE AND WILL BE OF A TYPE, KIND, AND SPACING AS APPROVED BY THE PUBLIC WORKS DEPARTMENT. PUBLIC WORKS CONTACT INFORMATION IS: PUBLICWORKS@PINECREST-FL.GOV
  8. ANY DECORATIVE D/W IN THE ROW SHALL HAVE AN 8" W X 12" D, 3,000-PSI, FIBER MESH CONCRETE HEADER CURB LOCATED BETWEEN THE ASPHALT AND THE PROPOSED D/W. THE EDGE OF THE HEADER CURB WILL BE A MINIMUM OF 10' FROM THE CENTERLINE OR TO THE EDGE OF THEE EXISTING ASPHALT EDGE, WHICHEVER IS GREATER.
  9. NO MATERIALS OF ANY KIND WILL BE STORED FOR ANY LENGTH OF TIME ON THE PUBLIC SWALE.
  10. EXISTING SIDEWALKS WILL BE MAINTAINED AT ALL TIMES, FREE OF ANY LOOSE MATERIAL, AND OPEN TO PEDESTRIAN TRAFFIC AT ALL TIMES. NO VEHICLES CAN PARK ON THE SIDEWALK AT ANY TIME.
  11. ANY SIDEWALK CROSSED BY A D/W APPROACH MUST BE REPLACED WITH 6" THICK SIDEWALK AND EXTEND TO THE NEXT ADJACENT WHOLE FLAG ON EITHER SIDE OF THE NEW APPROACH. LONGITUDINAL SLOPE CANNOT EXCEED 5% AND MAXIMUM CROSS SLOPE IS 2%. ALL SIDEWALK CONSTRUCTION THAT INTERSECTS WITH A CROSSWALK MUST BE PARALLEL WITH THAT CROSS WALK AND WILL HAVE DETECTABLE WARNING SURFACE PLACED PERMANENTLY IN CONCRETE - NO SCREW-DOWN DETECTABLE WARNING SURFACE IS PERMITTED. ALL SIDEWALK IN THE ROW WILL BE A MINIMUM OF 10' FROM THE NEAREST EDGE OF PAVEMENT AND MARKED AS SUCH IN THE SIGNED AND SEALED PLANS.
  12. ALL WORK CONDUCTED IN THE ROW WILL IMPLEMENT THE APPLICABLE FDOT STANDARD INDEX 600 SERIES FOR MOT.
  13. ALL SIDEWALK REPLACEMENT WILL BE OPEN TO TRAFFIC WITHIN 48 HOURS OF THE SIDEWALK BEING CLOSED FOR DEMO. THIS INCLUDES DEMOLITION OF EXISTING SIDEWALK, PLACING FORMS, PLACING AND FINISHING CONCRETE AND STRIPPING FORMS.
  14. NO PORTION OF THE PUBLIC ROW AND CAN BE ENCLOSED BY THE CONTRACTOR'S FENCE AT ANY TIME.
  15. ALL SOD IN THE ROW WILL BE SAND GROWN, 'EMPIRE ZOYSIA'
  16. ALL DRIVEWAY APPROACHES WILL MEET ALL ADA REQUIREMENTS FOR OBSTRUCTIONS, BOTH VERTICAL AND HORIZONTAL AND FOR SLOPE, BOTH CROSS SLOPE AND LONGITUDINAL.



- NOTES:
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
  2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
  3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
  4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
  5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.

1 SILT FENCE DETAIL  
C102 SCALE: NTS



DETAIL

2 PINECREST SWALE DETAIL  
C102 SCALE: NTS



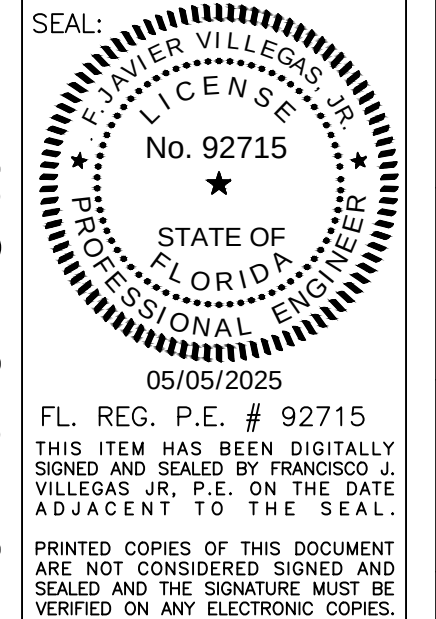
ONE MORE  
DESIGNS, LLC

5916 SW 82 STREET  
MIAMI FL. 33143 USA  
FJVILLEGASJR@ONEMOREDB.COM  
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| DESIGN CONSTRUCTION BUILD |                               |
|---------------------------|-------------------------------|
| CLIENT:                   | WILLIAM & DANIELLA GOMEZ      |
| PROJECT NAME:             | SFR RENOVATIONS               |
| ADDRESS:                  | 11040 SW 69 AVE<br>MIAMI, FL. |
| REVISIONS:                |                               |
| #1                        | March 2025                    |
| #2                        | -                             |
| #3                        | -                             |
| #4                        | -                             |
| #5                        | -                             |

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| DRAWN BY:   | UB           |
| CHECKED BY: | FJV          |

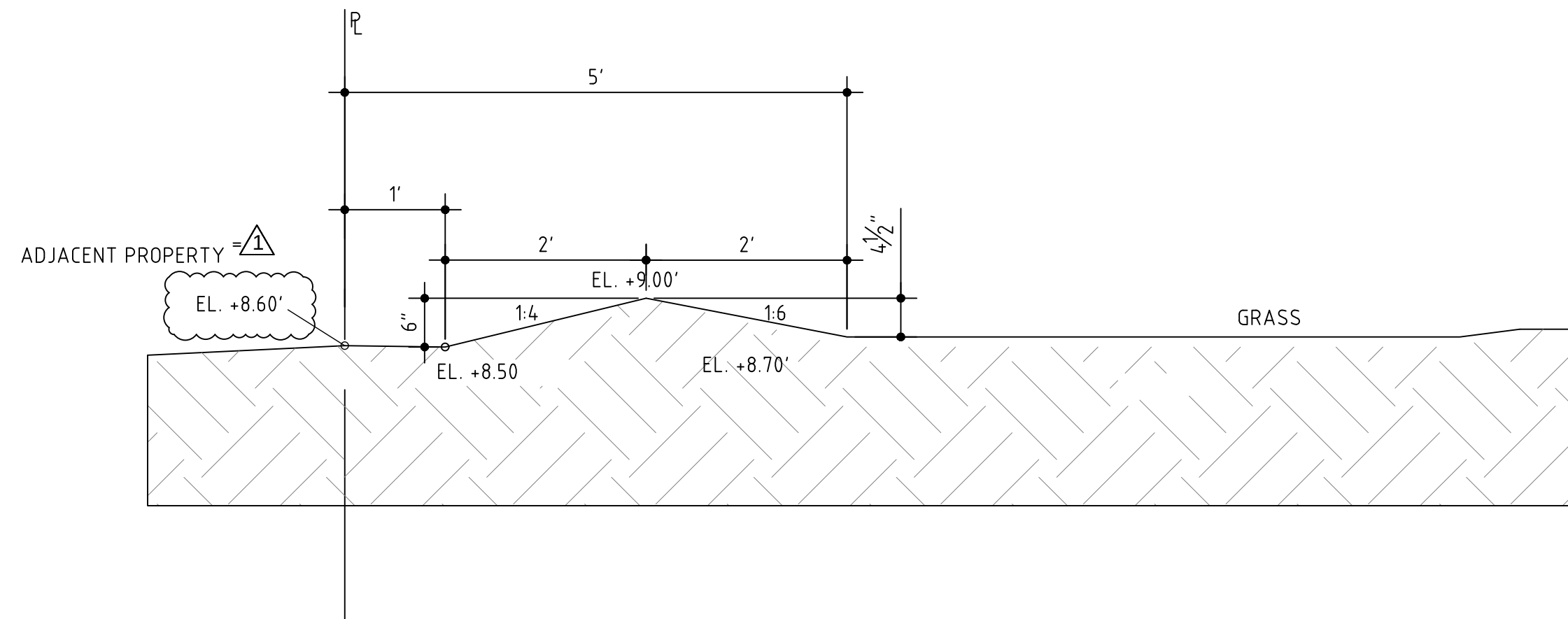


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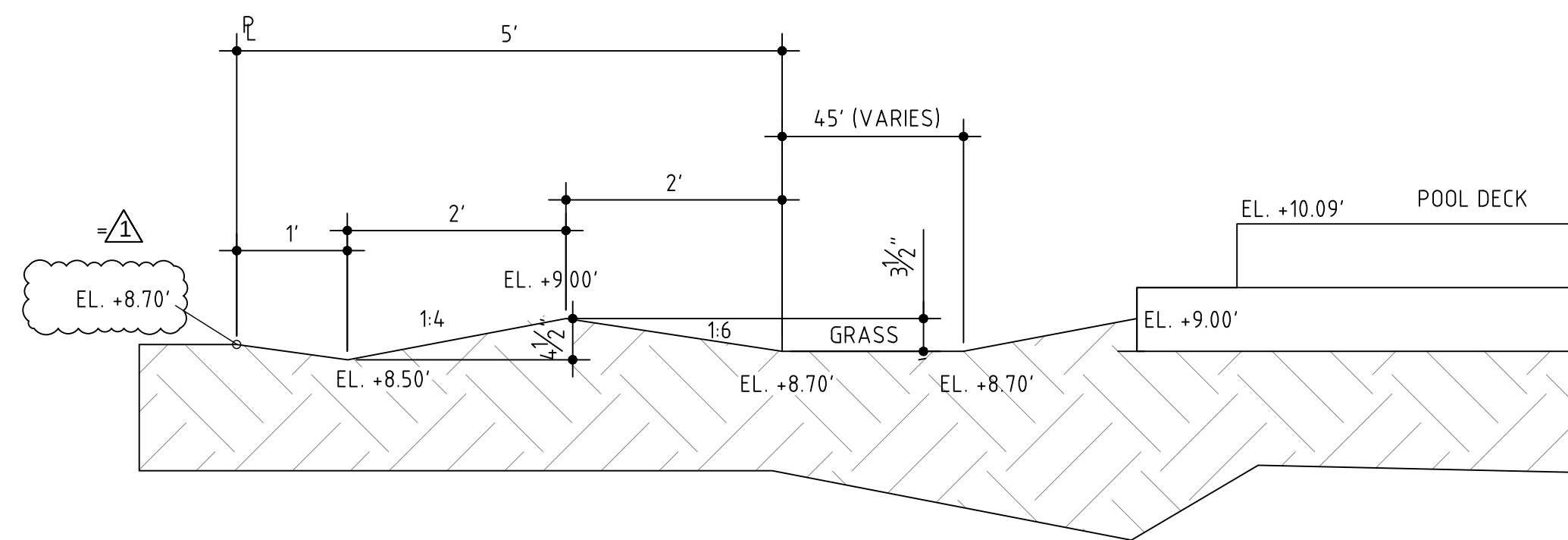
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**SITE PLAN  
PAVING AND  
GRADING**

SHEET:  
**C-102**

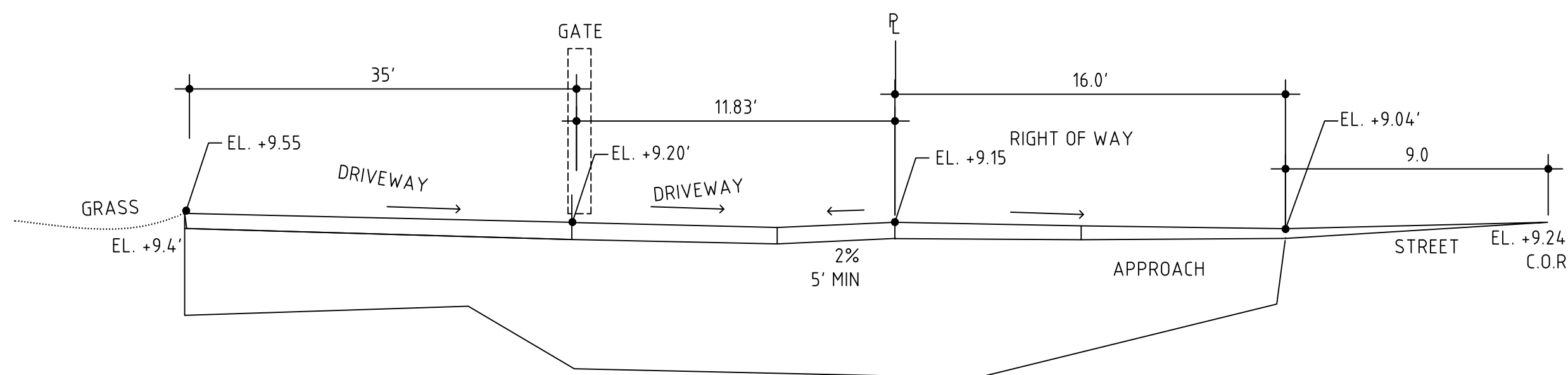




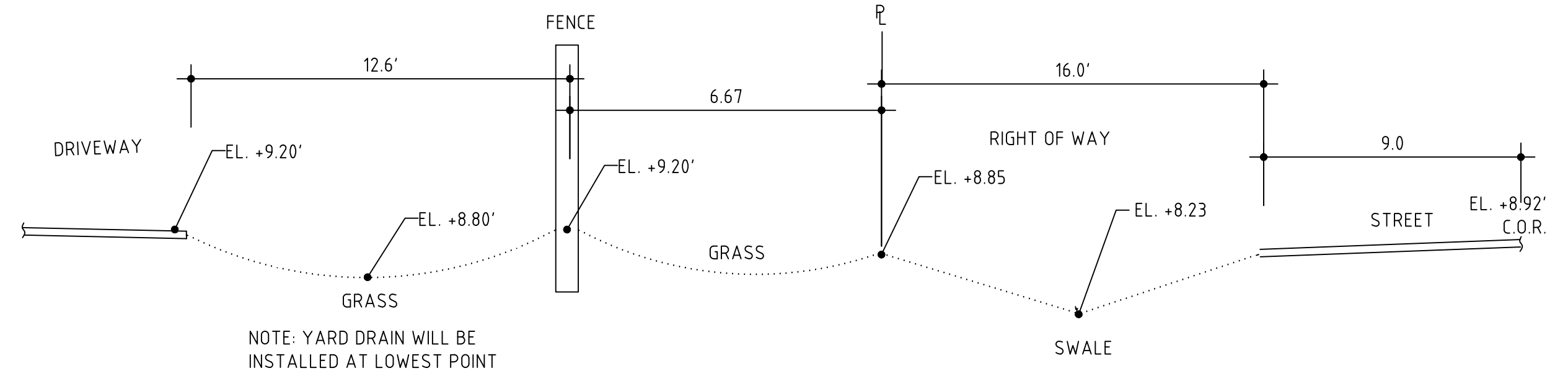
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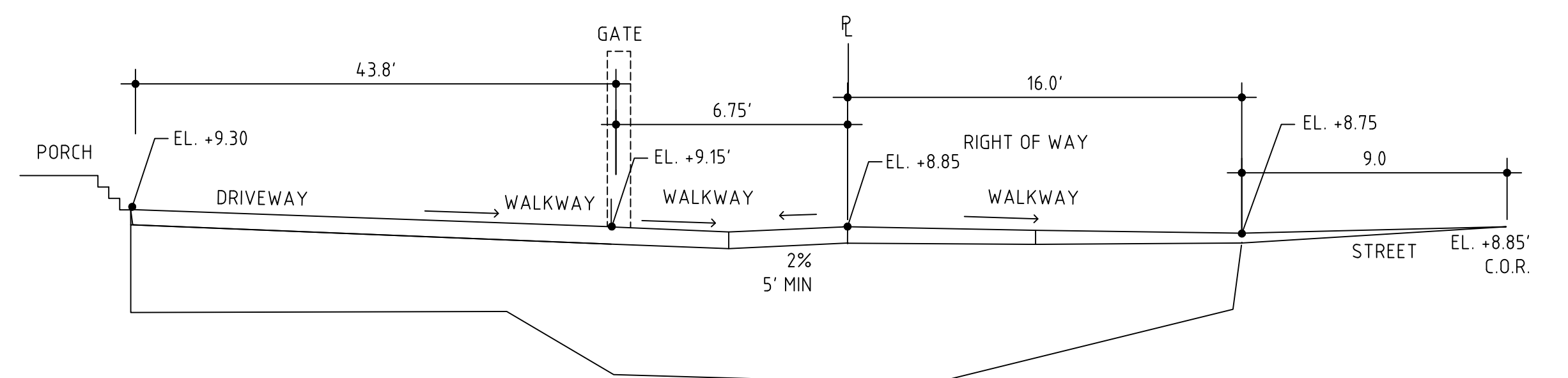
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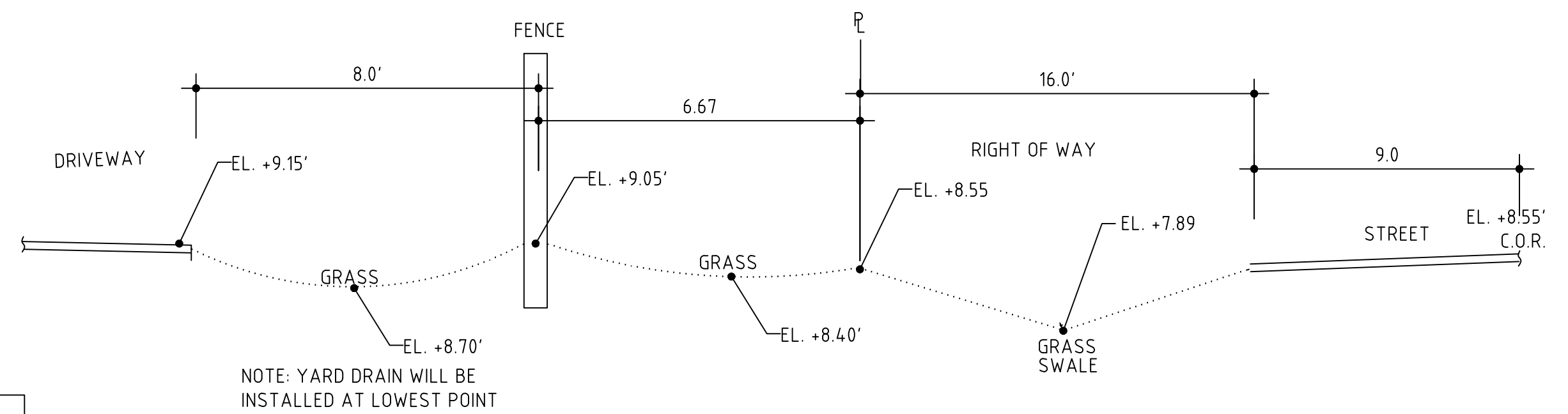
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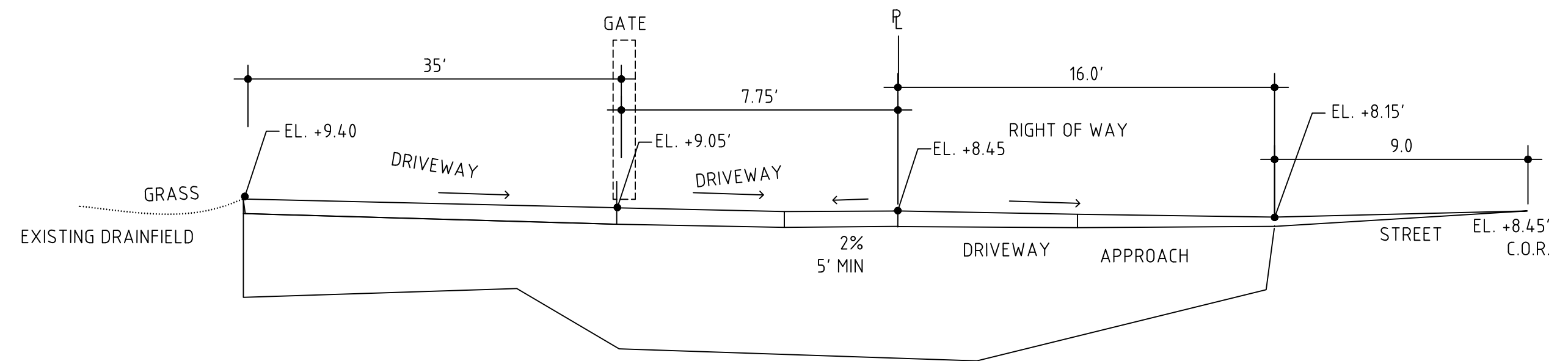
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5  
C201 PROFILE SECTION  
SCALE: 3/4" = 1'-0"



5P  
C201 PROFILE SECTION  
SCALE: 3/4" = 1'-0"



ONE MORE  
DESIGNS, LLC  
5916 SW 82 STREET  
MIAMI FL. 33143 USA  
FJVILLEGASJR@ONEMOREDB.COM  
305-495-1114

DESIGN CONSTRUCTION BUILD

CLIENT:  
WILLIAM & DANIELLA  
GOMEZ

PROJECT NAME:  
SFR RENOVATIONS

ADDRESS:

11040 SW 69 AVE  
MIAMI, FL.

REVISIONS:

|    |            |
|----|------------|
| #1 | MARCH 2025 |
| #2 | -          |
| #3 | -          |
| #4 | -          |
| #5 | -          |

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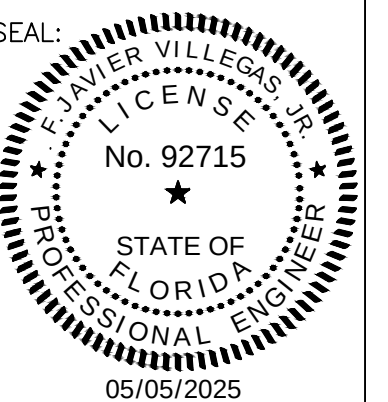
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FILE NAME:  
D2425

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PLAN DESCRIPTION:  
CIVIL  
PROFILE SECTIONS

SHEET:  
C-201