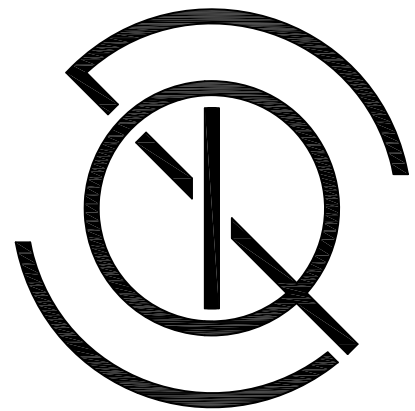




Q DESIGN STUDIO
ARCHITECTURE & PLANNING

License No AR99532

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8000 SW 88th Court
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T. 305.401.4950
E: John.Quintana10@gmail.com

CONSULTANTS

PROJECT NAME:

GOMEZ DRIVEWAY &
BACKYARD REMODEL

OWNER:

WILLIAM GOMEZ & DANIELLA VILAR

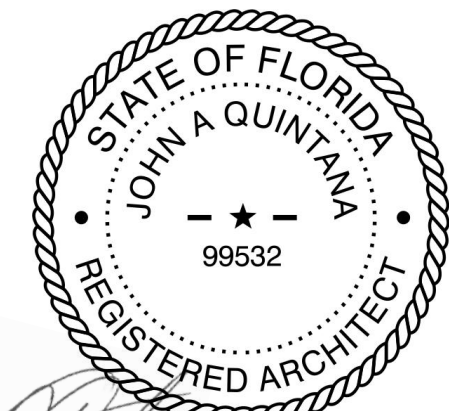
11040 SW 69th AVENUE
PINECREST, FL 33156

JOB NUMBER: 2024.01
DATE: 02/17/24

REVISION

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SEAL:



John Alexander Quintana

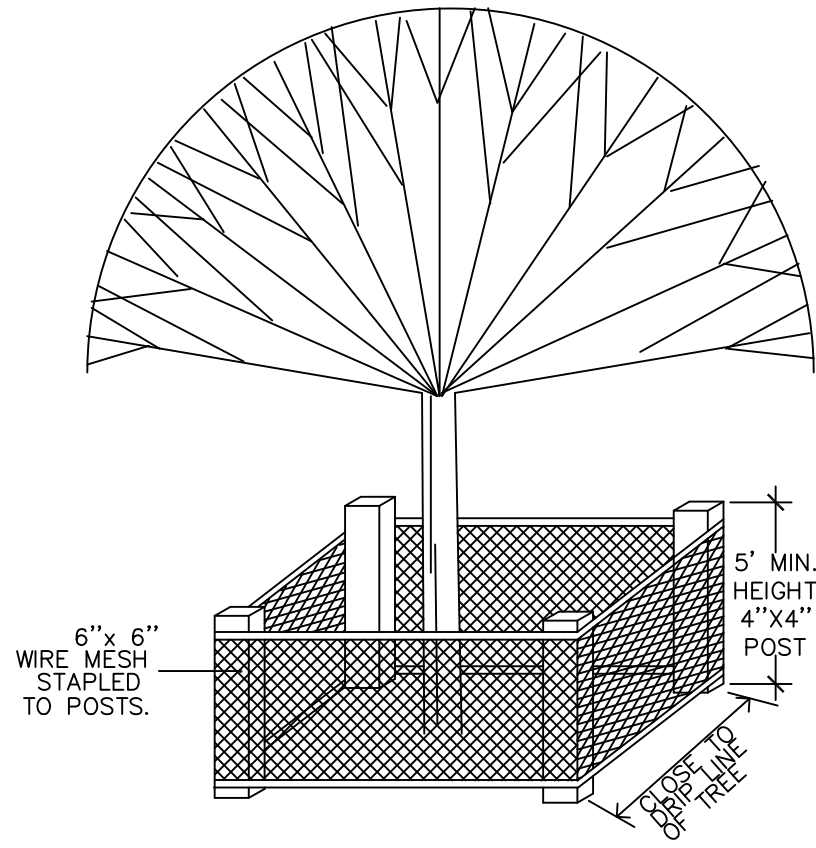
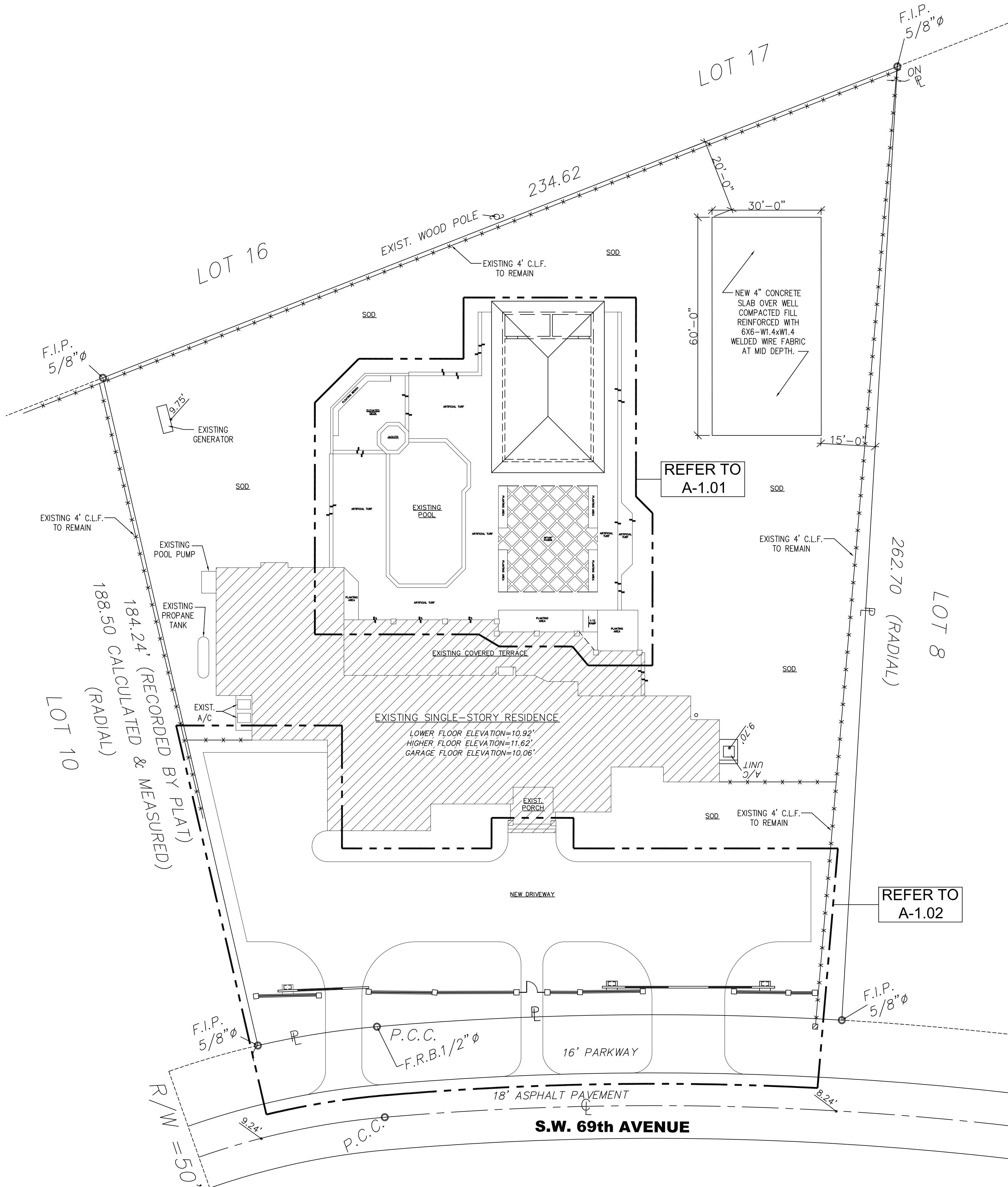
AR99532

DRAWING TITLE:

OVERALL SITE
PLAN

DRAWING NO:

A1.00



1. PROTECTION FOR EXISTING TREES TO REMAIN
NOT TO SCALE

TERMITE NOTE :

AS PER F.B.C. 2023, A WEATHER-RESISTANT JOB-SITE POSTING BOARD SHALL BE PROVIDED TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AS EACH REQUIRED PROTECTIVE TREATMENT IS COMPLETED, PROVIDING A COPY FOR THE PERSON THE PERMIT IS ISSUED TO AND ANOTHER COPY FOR THE BUILDING PERMIT FILES. THE TREATMENT CERTIFICATE SHALL PROVIDE THE PRODUCT USED, IDENTITY OF THE APPLICATOR, TIME AND DATE OF THE TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION AND NUMBER OF GALLONS USED, TO ESTABLISH A VERIFIABLE RECORD OF PROTECTIVE TREATMENT. IF THE SOIL CHEMICAL BARRIER METHOD FOR TERMITE PREVENTION IS USED, FINAL EXTERIOR TREATMENT SHALL BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.

AS PER F.B.C. 2023, A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDOR AND NEED FOR REINSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.

SOIL STATEMENT :

SOIL AT THIS SITE IS SAND & ROCK ADEQUATE TO SUPPORT THE DESIGN LOAD OF 2000 PSF. AFTER EXCAVATION SIGNED AND SEALED LETTER WILL BE SUBMITTED BY THE ARCHITECT OR THE ENGINEER ATTESTING THAT THE SITE HAS BEEN OBSERVED AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED ON.

THE TRIANGLE OF VISIBILITY, SHALL NOT CONTAIN OBSTRUCTION TO CROSS VISIBILITY AT A HEIGHT BETWEEN 30" AND 8' ABOVE PAVEMENT.

NOTE:

CALL 811 (AT LEAST 72 HOURS BEFORE WORK STARTS) TO IDENTIFY AND CLEARLY MARK THE LOCATION OF ALL BURIED UTILITIES IN THE PROPERTY IF APPLICABLE.

GRADING NOTES:

1. NO GRADING SHALL OCCUR WITHIN THE DRIP-LINE OF ANY EXISTING TREE.
2. NO GRADING SHALL OCCUR BEYOND THE PROPERTY LINE.
3. ALL SHADOW RETENTION AREA (SRA) SHALL BE GRADED GRADUALLY TO THE LOW POINT SPECIFIED ON THE PLAN. THESE AREAS WILL CATCH ONSITE WATER FOR PLAN MATERIAL AS WELL AS CREATE THE FIRST BARRIER IN FILTRATION BEFORE ENTERING THE STORM WATER SYSTEM.
4. ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
5. ALL SHRUB AND GROUND COVER AREAS ARE TO BE 3"-4" BELOW FINISHED LEVEL OF ALL ADJACENT HARDSCAPE (TYPICAL).
6. ALL TURF AREAS TO HAVE SMOOTH TRANSITION FROM FINISHED LEVEL OF ALL ADJACENT HARDSCAPE.
7. ALL STEP TREADS TO SLOPE AWAY FROM STEP FACE AT MINIMUM OF 1% PLEASE REFER TO DETAILS FOR INFORMATION
8. ALL RAINWATER TO BE RETAINED ON PROPERTY.

NOTE:

- ALL PROPOSED WORK IN R.O.W. MUST BE REVIEWED AND APPROVED BY PUBLIC WORKS DEPARTMENT.

ALL EXISTING TREES ARE TO REMAIN.
NO TREES ARE TO BE RELOCATED OR REMOVED.
NO TREE MITIGATION IS REQUIRED.

A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING ITEMS:
STRUCTURAL GLAZING
RIDGE VENTILATION
PRECAST SYSTEMS
WOOD TRUSSES
CURTAIN WALLS
HANDRAILS
STEEL JOISTS
DOORS
MULLIONS
RAILS
STORE FRONT
ROOFING
SIGNS
FENCES
AWNINGS
WINDOWS
GLASS WALL



OVERALL SITE PLAN
SCALE: 1/16" = 1'-0"