

PROPERTY ADDRESS: 12805 W 69th COURT
MIAMI, FLORIDA 33156

FOLIO No.: 20-5014-044-0010

LEGAL DESCRIPTION: FAIRMONT ACRES SEC 2 PB 75-97
LOT 10 BLK 3
F/A/U 30-5014-044-00

CODE OF ORDINANCES VILLAGE OF PINECREST, VOL. II, CHAPTER 30

PRIMARY ZONE:	2100 ESTATES - 15,000 SF LOT
PRIMARY LAND USE:	0101 RESIDENTIAL - SINGLE FAMILY: 1 UNIT
ZONING DISTRICT:	EU-M (RESIDENTIAL MODIFIED ESTATE)
NET LOT AREA:	14,985 SF (0.34 ACRE)
LOT COVERAGE:	4,084 SF (27.25%)

LOT COVERAGE:	ALLOWED	PROVIDED
MAX. BUILDING COVERAGE - 30%	14,985x0.30 = 4,495 SF	4,084 SF (*)
MAX. IMPERVIOUS SURFACE RATIO - 65%	14,985x0.65 = 9,740 SF	8,229 SF (**)
MIN. GREEN SPACE - 35%	14,985x0.35 = 5,245 SF	6,796 SF

(*) INCLUDES 2,918 SF OF EXISTING PLUS 1,166 SF OF NEW ADDITION = 4,084 SF
(**) INCLUDES BLDG COVERAGE (4,084 SF), PAVED AREAS (3,564 SF), AND POOL (581 SF): 8,017 SF

BUILDING HEIGHT LIMIT:	ALLOWED	PROVIDED
PRINCIPAL USE	ONE STORY STRUCTURE: 24'	ONE STORY STRUCTURE: 13'-7"

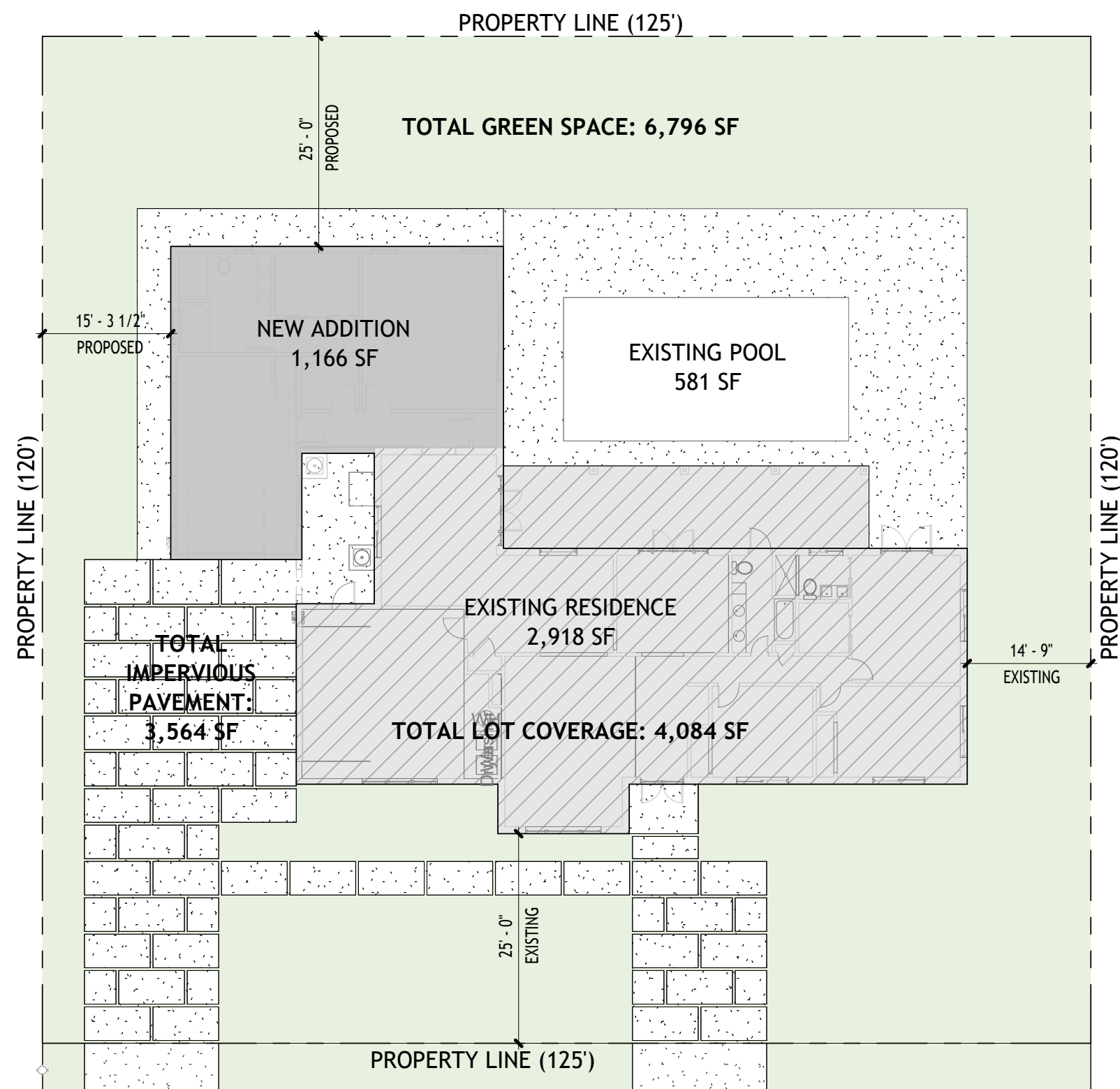
MAIN HOUSE SETBACKS	REQUIRED	PROVIDED
FRONT: (TO NEW ADDITION)	25'-0"	57'-8"
REAR: (TO NEW ADDITION)	25'-0"	25'-0"
BETWEEN BUILDING	10'-0"	N/A
SIDE: NORTH (TO NEW ADDITION)	15'-0"	15'-4"
SIDE: WEST	15'-0"	14'-9" (EXIST.)

1. NO FILL OF ANY KIND CAN BE BROUGHT ON SITE OR TO THE ROW OUTSIDE OF THE BUILDING FOOTPRINT.
2. DEMONSTRATE HOW RUNOFF GENERATED FROM THE D/W WILL NOT DISCHARGE DIRECTLY TO THE ROW OR ADJACENT PROPERTIES.
3. THE ROW SWALE IS TO BE GRADED USING THE VILLAGE PW STANDARD.
4. NO TREES ARE TO BE PLANTED IN THE ROW BEFORE A CONDITIONAL APPROVAL OF THE ROUGH GRADING OF THE SWALE HAS BEEN APPROVED BY PUBLIC WORKS.
5. NO SHRUBS ARE TO BE PLANTED IN THE ROW AND ANY EXISTING SHRUBS ARE TO BE REMOVED.
6. NO IRRIGATION IN THE ROW.
7. NO LIGHTING OR ELECTRICAL COMPONENTS OF ANY KIND IN THE ROW.
8. ALL PROPOSED TREES IN THE ROW WILL BE PLANTED A MINIMUM OF 7' FROM THE EDGE OF PAVEMENT TO THE FACE OF THE CURB. THERE WILL BE A TYPE, KIND, AND SPACING AS APPROVED BY THE VILLAGE ARBORIST.
9. ARBORIST CONTACT INFORMATION IS: RICK KARR - CKARR@PINECREST-IL.GOV
10. ANY DECORATIVE D/W IN THE ROW SHALL HAVE AN 8" W X 12"D, 3,000-PSI CONCRETE HEADER CURB LOCATED BETWEEN THE ASPHALT AND THE PROPOSED D/W.
11. NO MATERIALS OF ANY KIND WILL BE STORED FOR ANY LENGTH OF TIME ON THE PUBLIC SWALE.
12. EXISTING SIDEWALKS WILL BE MAINTAINED AT ALL TIMES, FREE OF ANY LOOSE MATERIAL, AND OPEN TO PEDESTRIAN TRAFFIC AT ALL TIMES. NO VEHICLES CAN PARK ON THE SIDEWALK AT ANY TIME.
13. ANY D/W APPROACH THAT CROSSES A SIDEWALK MUST BE REPLACED WITH 6" THICK SIDEWALK AND EXTEND TO THE NEXT ADJACENT WHOLE FLAG ON EITHER SIDE OF THE APPROACH.

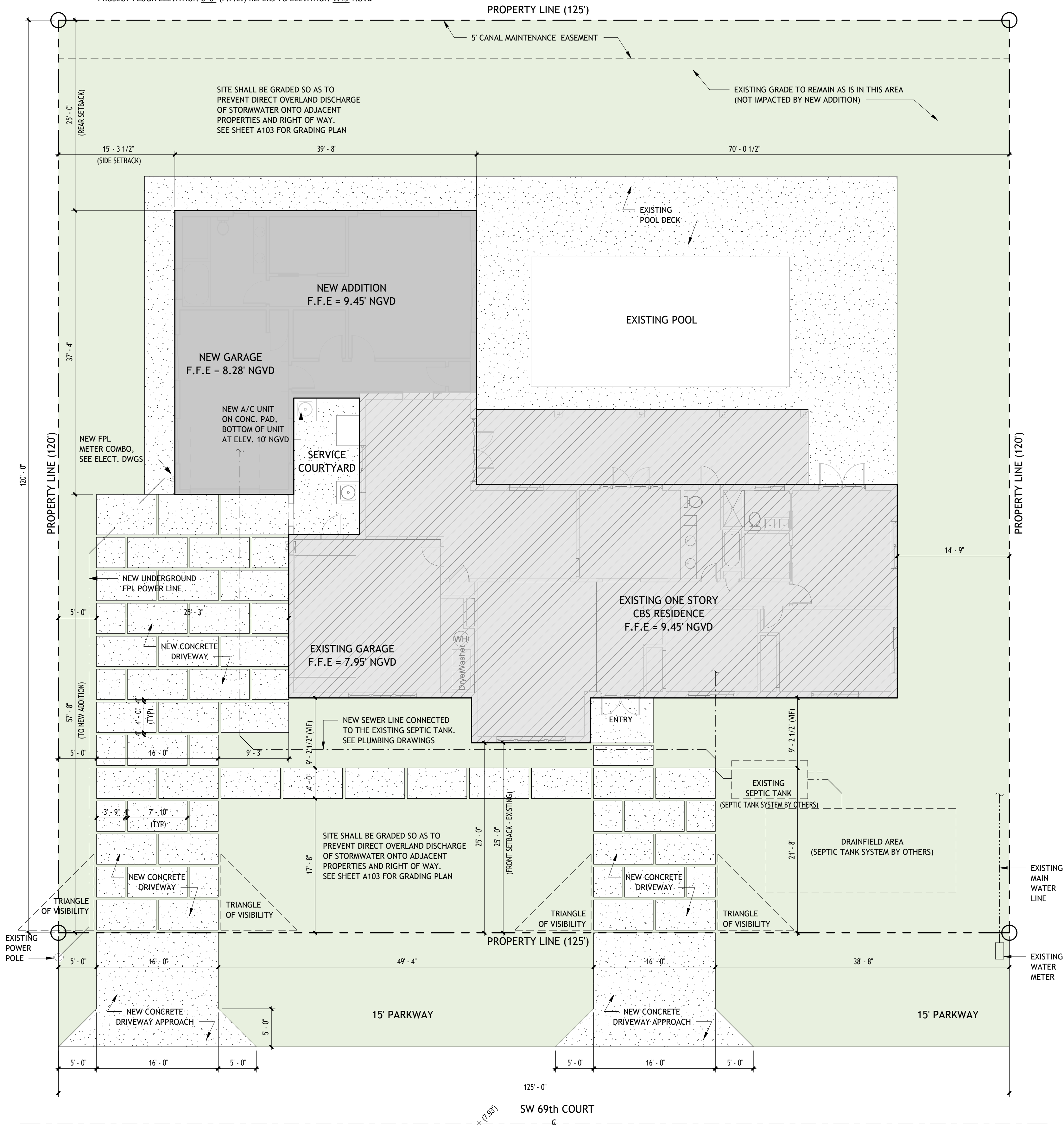
	EXISTING RESIDENCE TO REMAIN
	PROPOSED ADDITION
	GREEN SPACE
	IMPERVIOUS PAVEMENT

FLOOD ZONE:
HIGHEST CROWN ROAD:
FEMA BASE FLOOD ELEVATION:
FINISH FLOOR ELEVATION AT MAIN RESIDENCE (AT EXISTING):
FINISH FLOOR ELEVATION AT MAIN RESIDENCE (AT ADDITION):
FINISH GRADE ELEVATION AT GARAGE LOWEST POINT (AT EXISTING)
FINISH GRADE ELEVATION AT GARAGE LOWEST POINT (AT ADDITION)
FINISH GRADE ELEVATION AT LOWEST ADJACENT GRADE (AT ADDITION)
PROJECT FLOOR ELEVATION 9.0' (F.F.E.) REFERS TO ELEVATION 9.45' NGVD

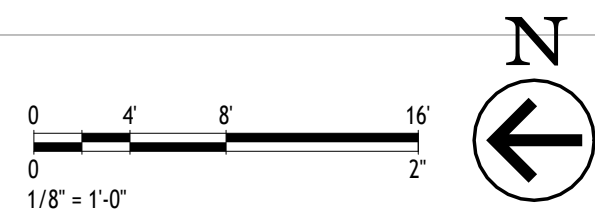
EXISTING RESIDENCE A/C AREA	1,942 SF
EXISTING GARAGE	439 SF
EXISTING COVERED TERRACE	537 SF
NEW RESIDENCE ADDITION A/C AREA	838 SF
NEW GARAGE	328 SF
TOTAL	4,084 SF



1 LOT COVERAGE AND GREEN SPACE DIAGRAM
1/16" = 1'-0"



2 NEW SITE PLAN
1/8" = 1'-0"



**studio
jpa**

Client:
Victor Lau

Address:
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Miami, FL 33156

Project Name:

Residence Addition

Architect:

Studio JPA, Inc., AA26003764
Jorge I. Perez, AIA
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Consultants

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Seal / Digital Signature:



This item has been digitally signed and sealed by Jorge I. Perez, R.A. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Submittal:	Permit Set	Project No:	2303
Issue Date:	4/25/2024	Drawn by:	JR

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Sheet Name

NEW SITE PLAN

Sheet No

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