

GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ANY GOVERNMENTAL AGENCIES NECESSARY IN ORDER TO ESTABLISH ANY UTILITY EASEMENTS OR LINES PRESENT WITHIN THE PROPERTY PRIOR TO PERFORMING ANY WORK.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE "FLORIDA BUILDING CODE", CURRENT EDITION. NOTE: ALL LOCAL CODES SHALL PREVAIL.
- ANY OTHER SERVICES NECESSARY FOR THE COMPLETION OF THIS JOB THAT MAY BE INVOLUNTARY UNDER THE JURISDICTION OF THE FLORIDA BUILDING CODE AND NOT SPECIFIED IN THE "GENERAL NOTES AND OR SPECIFICATIONS" ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
- CONTRACTOR SHALL SUBMIT TO ARCHITECT/ENGINEER & BUILDING DEPARTMENT ALL REQUIRED SHOP DRAWINGS FOR REVIEW AND APPROVAL AS REQUIRED.
- OBTAIN THE LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE COMMENCING WORK. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF THE OWNER/ARCHITECT/INTERIOR DESIGNER.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER, FOLLOWED BY A CHANGE ORDER.
- UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A "PUNCHLIST", INDICATING THE OBSERVED DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITHIN 14 CALENDAR WORKING DAYS.
- THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL GOVERN THE LOCATIONS OF THE INSTALLATIONS OF THE MECHANICAL AND ELECTRICAL SYSTEM. CONTRACTOR MUST INFORM THE ARCHITECT BEFORE FORMING ANY CONCRETE BEAM IF INTERFERING WITH A/C DUCT OR PLUMBING FIXTURES EXACT LOCATION. ANY DEVIATION FROM THE MECHANICAL/ELECTRICAL PLANS TO ACCOMMODATE THE ABOVE CONDITIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
- VERIFY ALL DIMENSIONS ON DRAWINGS AND CONDITIONS AT JOB SITE PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OR OWNER REPRESENTATIVE OF ANY DISCREPANCIES AND SECURE AN INTERPRETATION OR DECISION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
- DO NOT SUBSTITUTE MATERIALS, EQUIPMENTS OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER/ARCHITECT/ENGINEER.
- THE ARCHITECT/INTERIOR DESIGNER/OWNER HAS THE RIGHT TO REFUSE ANY MATERIAL AND WORKMANSHIP THAT DOES NOT MEET HIGH QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.
- THE CONTRACTOR SHALL MAKE REQUIRED ARRANGEMENTS, SECURE AND PAY FOR ALL SANITARY FACILITIES, BARRICADES, ENCLOSURES, AND FENCING AS NEEDED FOR AND DURING THE PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES.
- CONTRACTOR SHALL KEEP WORK AREAS CLEAN AND REMOVE ALL CONSTRUCTION DEBRIS FROM THE SITE. CONTRACTOR SHALL EMPLOY REASONABLE MEASURES TO PROTECT THE EXISTING PREMISES FROM DAMAGE AND SHALL BE LIABLE FOR ANY NEEDED REPAIRS.
- CLEANING AND DEBRIS REMOVAL. THE OWNER SHALL RECEIVE THE PROPERTY FREE FROM DUST, ALL GLASS SURFACES SHALL BE CLEAN AND DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MAKE EFFORT TO MAINTAIN THE FLOOR CLEAN DURING CONSTRUCTION PROGRESS. LEFTOVERS FROM MEALS CONSUMED ON PREMISES SHALL BE DEPOSITED IN SEALED CONTAINERS.
- ARCHITECT/INTERIOR DESIGN ENGINEER'S VISITS AT THE SITE DURING CONSTRUCTION SHALL BE SCHEDULED WITH CONTRACTOR BEFORE COMMENCING OF WORK AND DURING CONSTRUCTION SHALL BE COORDINATED WITHIN 48 HOURS IN ADVANCE PRIOR TO INSPECTION.
- CONTRACTOR SHALL DELIVER THE ANNOTATED JOB RECORD SET TO THE OWNER UPON COMPLETION OF THE WORK, AS A CONDITION OF ACCEPTANCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR THE SEQUENCES AND PROCEDURES TO BE USED.
- THE CONTRACTOR SHALL PRODUCE, BY MEANS OF SHOP DRAWINGS, ALL ADDITIONAL DETAILS WHICH ARE INFERABLE FROM THESE PLANS AND WHICH ARE NECESSARY FOR THE EXECUTION AND COMPLETION OF THE CONSTRUCTION.
- THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB.
- THE ARCHITECT/ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR THE MISINTERPRETATION OF THESE PLANS BY OTHERS, THE REVIEW AND APPROVAL OF SHOP DRAWINGS PRODUCT CONTROL APPROVAL BY OTHERS.
- CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF THE WORK. USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB.
- EXISTING BUILDING INFORMATION SHOWN ARE OBTAINED FROM EXISTING BUILDING CONDITIONS, FIELD MEASUREMENTS AND SITE OBSERVATION CONDUCTED BY THIS ARCHITECT, COPY OF SURVEY PROVIDED BY OWNER.
- CONTRACTOR TO VERIFY ALL OPENINGS IN THE FIELD PRIOR TO DOOR AND WINDOW PLACEMENT. SUBMIT SHOP DRAWINGS AS REQUIRED.
- ALL WOOD MEMBERS IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED WITH AN APPROVED PRESERVATIVE.
- STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, A/C, ELECTRICAL AND MECHANICAL DWGS., TO LOCATED OPENINGS, DRAINS, SLEEVES, SLOPES, DEPRESSED SLABS, BOLTS, CURBS, ETC.
- ALL PRODUCTS TO MEET THE MIAMI-DADE COUNTY APPROVAL CRITERIA AS REQUIRED
- ALL CEILINGS SHALL BE SEALED SO THAT AIR FLOW FROM SHAFTS, WALL CHASES, CAVITIES AND BETWEEN CONDITIONED AND UNCONDITIONED ATTIC SPACE IS STOPPED.
- DRAFT STOPS SHALL BE SEALED AROUND PIPES AND CONDUITS AT THE TOPS OF ALL INTERIOR PARTITION WALLS SO THAT AIR CANNOT PENETRATE DOWN INTO THE WALLS.
- SEAL ALL CEILING SPACES BETWEEN THE CONDITIONED FLOORS FROM OUTSIDE AIR.
- USE ONLY HIGH HAT LIGHTS WITH SEALED CANS OR SEAL THEM FROM THE ATTIC DRYWALL SO THAT COLD AIR DOES NOT GET INTO THE ATTIC.
- ALL DIFFUSERS AND GRILLS SHALL HAVE GASKETS AND THE FIBERGLASS BOOT CONNECTIONS SHALL BE TIGHT IN ORDER TO PREVENT COLD AIR TO LEAK OUT THROUGH THE DRYWALL OPENINGS ALLOWING CONDENSATION TO FORM.
- EXTERIOR AND ADJACENT WALLS SHALL BE SEALED AT THE FOLLOWING LOCATIONS AS PER FLORIDA BUILDING CODE, LATEST EDITION.
 - BETWEEN WINDOWS AND DOORS AND THEIR FRAMES,
 - BETWEEN WINDOWS AND DOOR FRAMES AND THE SURROUNDING WALL,
 - BETWEEN THE FOUNDATION AND WALL ASSEMBLY SILL-PLATES,
 - JOINTS BETWEEN EXTERIOR WALL PANELS AT CHANGES IN PLANE, SUCH AS WITH EXTERIOR SHEATHING AT CORNERS AND OPENINGS AND CRACKS AROUND ALL PENETRATIONS THROUGH THE WALL ENVELOPE SUCH AS UTILITY SERVICES AND PLUMBING,
 - BETWEEN THE WALL PANELS AND TOP AND BOTTOM PLATES IN EXTERIOR AND ADJACENT WALLS. IN FRAME CONSTRUCTION, THE CRACK BETWEEN EXTERIOR AND ADJACENT WALL BOTTOM PLATES AND FLOORS SHALL BE SEALED WITH CAULKING OR GASKET MATERIAL. GYPSUM BOARD OR OTHER WALL PANELING ON THE INTERIOR SURFACE OF EXTERIOR AND ADJACENT WALL SHALL BE SEALED TO THE FLOOR, AND (WHEN APPLICABLE)
 - BETWEEN WALLS AND FLOOR WHERE THE FLOOR PENETRATES THE WALL.

DRAWINGS INDEX

ARCHITECTURAL

- A000 COVER SHEET
- A001 ABBREVIATIONS AND SYMBOLS
- A100 EXISTING / DEMOLITION SITE PLAN
- A101 NEW SITE PLAN
- A102 NEW LANDSCAPING PLAN
- A103 GRADING PLAN, SITE DETAILS
- A201 GROUND FLOOR PLAN
- A202 ROOF PLAN
- A301 BUILDING ELEVATIONS
- A501 ARCHITECTURAL DETAILS
- A601 ARCHITECTURAL SCHEDULES AND NOTES

STRUCTURAL

- S-0.0 STRUCTURAL NOTES, SYMBOLS, AND ABBREVIATIONS
- S-1.0 STRUCTURAL TYPICAL DETAILS
- S-2.0 FOUNDATION PLAN
- S-3.0 ROOF PLAN, ROOFING UPLIFT PLAN
- S-4.0 SECTIONS
- S-5.0 WIND PRESURES AND DETAILS

MECHANICAL

- MEP-SP MEP SITE PLAN
- M-1 HVAC GENERAL NOTES AND SCHEDULES
- M-2 HVAC FLOOR PLAN
- M-3 HVAC DETAILS

ELECTRICAL

- E-1 GENERAL NOTES AND PANEL SCHEDULES
- E-2 ELECTRICAL FLOOR PLAN

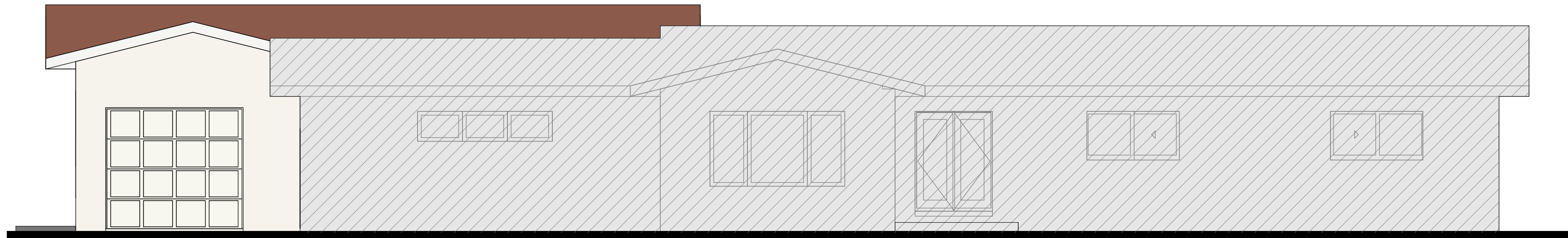
PLUMBING

- P-1 PLUMBING FLOOR PLAN

Victor Lau

Residence Addition

Studio JPA, Inc.



DESIGN STATEMENT

TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE PLANS COMPLY WITH ALL APPLICABLE CODES AND STANDARDS SUCH AS 2023 F.B.C. 8th EDITION, N.E.C., LIFE SAFETY CODE NFPA 101, ACI.

SCOPE OF WORK

REMOVAL OF ONE EXISTING WINDOWS AND WALL BELOW THE WINDOW TO CONNECT THE PROPOSED ADDITION TO THE EXISTING HOUSE, SEE SHEET A201.

REMOVAL OF THE DRIVEWAY

REMOVAL OF THE FPL METER AND OVERHEAD POWER LINES

REMOVAL OF PALM TREES TO ACCOMMODATE THE PROPOSED ADDITION

EXISTING RESIDENCE STRUCTURE TO REMAIN

NEW 1,166 SF ADDITION TO THE NORTH-EAST SIDE OF THE PROPERTY TO INCLUDE A NEW MASTER BEDROOM SUITE, LAUNDRY, AND 1-CAR GARAGE

NEW IMPACT RESISTANT WINDOWS FOR THE ADDITIONS ONLY. EXISTING WINDOWS TO REMAIN.

NEW ELECTRICAL PANEL, CONDUITS, WIRING, RECEPTACLES AND LIGHTING FIXTURES AS INDICATED IN PLANS (APPLICABLE TO THE ADDITIONS ONLY). EXISTING ELECTRICAL PANEL TO REMAIN.

NEW A/C SYSTEM AS INDICATED IN PLANS (APPLICABLE TO THE ADDITION ONLY). EXISTING A/C SYSTEM TO REMAIN.

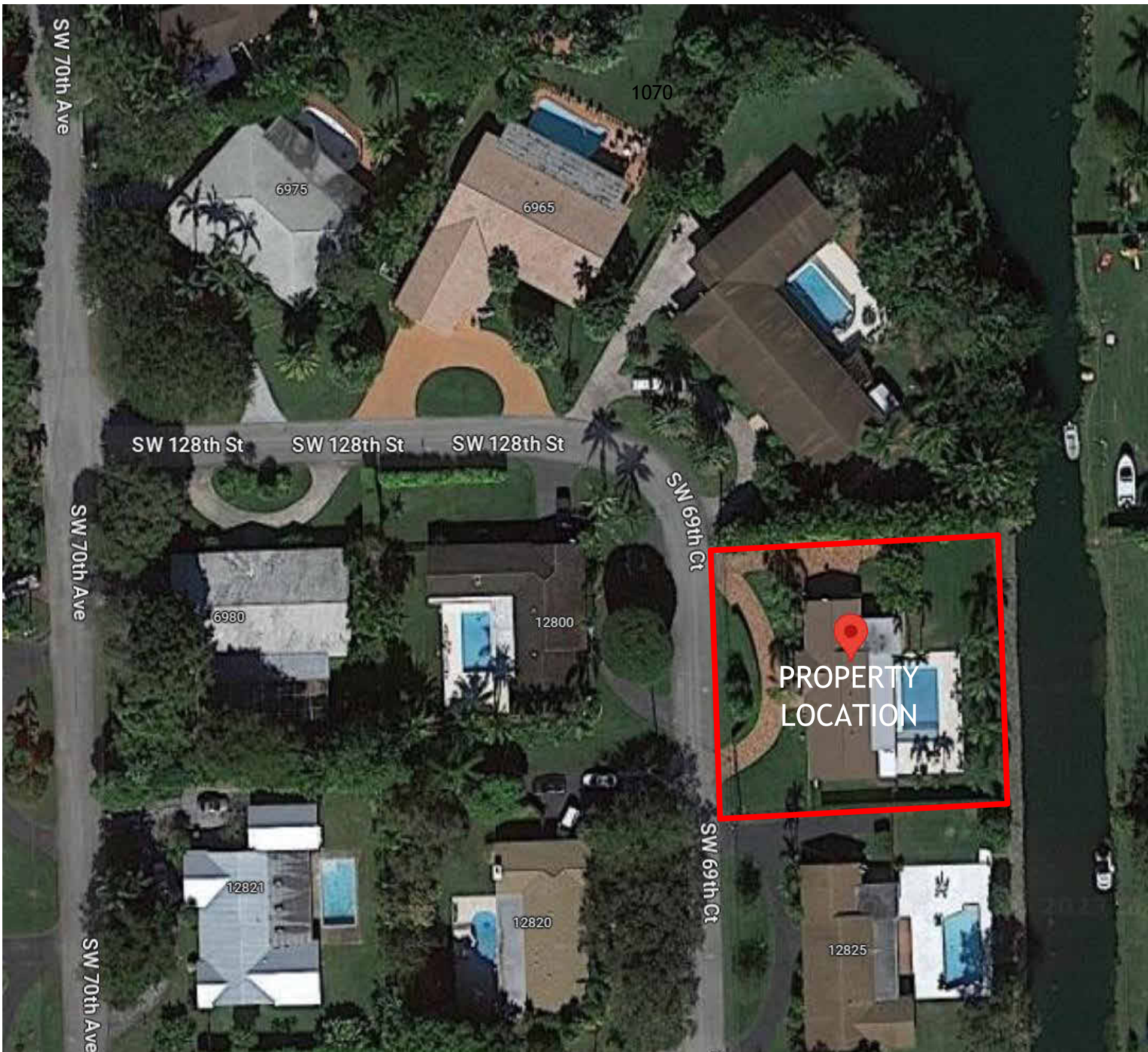
NEW PLUMBING FIXTURES AS INDICATED IN PLANS. THE NEW FIXTURES' SEWER LINES TO BE CONNECTED TO THE EXISTING SEPTIC TANK SYSTEM (TO REMAIN). SEE PLUMBING DRAWINGS.

ALTERATION LEVEL

2023 FBC, EXISTING BUILDING, 8th EDITION
ALTERATION LEVEL-2 (SECTION 603)

LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT

THE WORK AREA DOES NOT EXCEED 50 PERCENT OF THE BUILDING AREA



LOCATION MAP

studio
jpa

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Project Name:

Residence Addition

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This item has been digitally signed and sealed by Jorge I. Perez, R.A. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Submital:	Permit Set	Project No:	2303
Issue Date:	4/25/2024	Drawn by:	JP

No.	Description	Date

Sheet Name

Cover

Sheet No.

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