

**MIAMI-DADE COUNTY**  
**DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES**

<http://www.miamidade.gov/building/home.asp>

10/4/2024 9:23:05 AM

| Tracking # | Process #   | Permit #   |
|------------|-------------|------------|
| 2024021095 | M2024021095 | 2025000897 |

**THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.**

| Process #   | Review                                          | Disposition | Reviewer           | Date      |
|-------------|-------------------------------------------------|-------------|--------------------|-----------|
| M2024021095 | DERM PAVING & DRAINAGE                          | A           | JUNCO PI, RAUL     | 10/3/2024 |
| M2024021095 | DERM ONSITE SEWAGE TREATMENT & DISPOSAL SYSTEMS | A           | ROJAS, RICHARD     | 8/1/2024  |
| M2024021095 | DERM CORE                                       | A           | WONG, KIRK         | 10/3/2024 |
| M2024021095 | DEPT OF HEALTH                                  | A           | TOLEDO, GABRIEL    | 9/20/2024 |
| M2024021095 | WASA                                            | A           | HILARION, JENNIFER | 8/28/2024 |
| M2024021095 | UPFRONT FEES                                    | A           | WEB APPLICATION ID | 7/18/2024 |
| M2024021095 | IMPACT FEES                                     | N           | IDARRAGA, MELINA   | 7/18/2024 |

**Disclaimer.**

Subject to compliance with all Federal, State, and County Laws, rules and regulations. Miami-Dade County assumes no responsibility for accuracy of or results of these plans.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to the property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

| Stamp Name | Trade | Disposition | Stamp Description |
|------------|-------|-------------|-------------------|
| Approved   | DERM  | A           | Approved          |
| Approved   | HRS   | A           | Approved          |
| Void       | HRS   | V           | Void              |
| Approved   | OTDS  | A           | Approved          |

## GENERAL NOTES

A. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT OF RECORD.

B. THESE DRAWINGS PROVIDE FOR THE LABOR, MATERIAL, EQUIPMENT AND SUPERVISION BY THE CONTRACTOR FOR A COMPLETE LOCK AND KEY JOB WITH THE ITEMS SPECIFICALLY NOTED FURNISHED BY THE CONTRACTOR OR AS AN ALLOWANCE. THE WORK SHALL BE EXECUTED BY A THOROUGH, SUBSTANTIAL AND NEAT MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS.

C. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT OF RECORD IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.

D. ALL WORK SHALL BE IN CONFORMANCE WITH THE ORDINANCES OF THE FLORIDA RESIDENTIAL BUILDING CODE 8TH EDITION (2023) AND ALL AUTHORITIES HAVING JURISDICTION.

E. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.

F. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL BE FAMILIAR WITH THE NATURE AND LOCATION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING THOSE BEARING ON INFORMATION, HANDLING AND STORAGE OF DEBRIS, ACCESS TO THE SITE, AND THE EQUIPMENT AND FACILITIES NEEDED TO PERFORM THE WORK.

G. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PROVIDING A COMPLETE, VARIABLE PROJECT, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.

H. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE ACCESS TO THE PREMISES AT ALL TIMES.

I. ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED AND/OR AS SELECTED BY THE ARCHITECT, INTERIOR DESIGNER OR OWNER.

J. THE CONTRACTOR SHALL ALLOW THE TEAM A RESPONSE TIME OF 7 WORKING DAYS FOR RFS AND 10 WORKING DAYS FOR SHOP-DRAWING REVIEWS.

K. AT COMPLETION, THE CONTRACTOR SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, EQUIPMENT, AND SURPLUS MATERIALS, LEAVING THE PROJECT "BROOM CLEAN".

L. THE CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.

M. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OCEAN CONSTRUCTION CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.

N. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

## SYMBOLS KEY

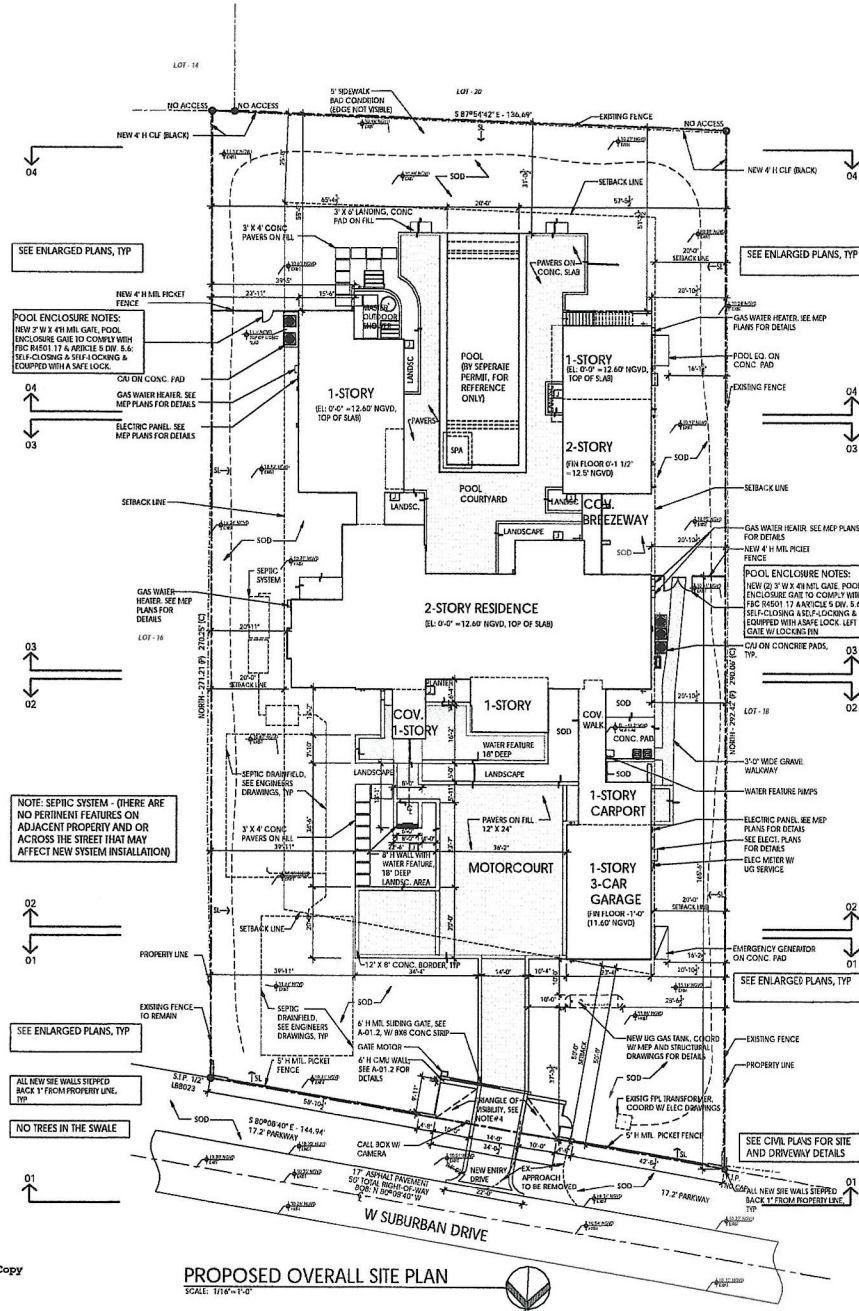
|                    |                    |
|--------------------|--------------------|
| BUILDING SECTION   | ELEVATION          |
| WALL SECTION       | INTERIOR ELEVATION |
| DETAIL             | DOOR ID            |
| DETAIL 4TH SECTION | PARTITION TYPE     |
|                    | REVISION           |
|                    | EQUIPMENT ID       |
|                    | GLAZING ID         |

## NOTES

1. ALL RAINWATER MUST BE RETAINED ON PROPERTY.
2. LANDSCAPING WILL COMPLY WITH LANDSCAPE REQUIREMENT. LANDSCAPING NOT ALLOWED TO GROW WITHIN TRIANGLE OF VISIBILITY BETWEEN A HEIGHT OF 30' AND 6'.
3. SOIL TERMITE CONTROL: THE ENTIRE SOIL AREA TO BE COVERED BY FOOTINGS, PORCHES, ETC., SHALL BE TREATED WITH TERMITAL OR EQUIVALENT FOR TERMITES IN ACCORDANCE WITH SPECIFICATIONS. PROVIDE OWNER WITH A WRITTEN GUARANTEE AGAINST SUBMERSEAN TERMITES FOR 5 YEARS, AND OTHER TERMS FOR 2 YEARS, FROM DATE OF COMPLETION.
4. THE TRIANGLE OF VISIBILITY SHALL BE KEPT CLEAR OF VISUAL OBSTRUCTIONS BETWEEN A HEIGHT OF TWO AND A MAX ID 12' TO 14' AND LIGHT BY TREE WORK. THE EXISTING GRASS.

NOTE: SEE LANDSCAPE DRAWINGS FOR TREE DISPOSITION PLAN, GRADING PLAN, ARBORIST REPORT AND PROPOSED NEW WORK

CODE:  
FBC RESIDENTIAL 2023 8TH EDITION



## PROPOSED OVERALL SITE PLAN

SCALE: 1/8" = 1'-0"

## LOCATION SKETCH

SCALE: NTS

## LEGAL DESCRIPTION

LOT 17, MARIAN SUBURBAN ACRES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 50, PAGE 7, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

## SCOPE OF WORK

THE WORK ENTAILS A NEW 2-STORY HOUSE AND POOL, DRIVEWAY AND LANDSCAPE UPGRADE.

## ZONING INFORMATION: CITY OF PINECREST

|                      |                                                                                                                                            |
|----------------------|--------------------------------------------------------------------------------------------------------------------------------------------|
| ZONED:               | RS-1                                                                                                                                       |
| FLOOD ZONE:          | X                                                                                                                                          |
| LOT SIZE:            | 49,016 SF                                                                                                                                  |
| CODE:                | FBC 2023, RESIDENTIAL 8TH EDITION                                                                                                          |
| FOUO:                | 20-0001-009-0160                                                                                                                           |
| ESTABLISHED GRADE:   | 10.54' NGVD                                                                                                                                |
| FIN FLOOR ELEVATION: | 0'-0" = 12.60' NGVD (TOP OF CONCRETE SLAB @ FIRST FLOOR)<br>MIN. FEE HIGHEST ADJACENT CROWN OF ROAD (10.54') PLUS 0.67' = 11.21' NGVD MIN. |

## FINISH FLOOR CALCULATIONS

1. CROWN @ 10.54' + 0.67' = 11.21' NGVD MIN.
2. PROPOSED 1ST SLAB (HOUSE) = 12.60' NGVD
3. PROPOSED GARAGE HIGH POINT = 11.60' NGVD  
LOWEST POINT = 11.43' NGVD

| MAIN HOUSE           | REQUIRED/ALLOWED                              | PROPOSED                                                |
|----------------------|-----------------------------------------------|---------------------------------------------------------|
| FAR (1ST FLOOR)      | 8003.2 SF (20%)                               | 6,545.1 SF (16.4%)                                      |
| FAR (2ND FLOOR)      | 4003.2 SF (10%)                               | 3,995.5 SF (9.9%)                                       |
| MAX LOT COVERAGE     | 4003.2 SF (10%)                               | 7,954.5 SF (19.9%)                                      |
| HEIGHT ALLOWED       | 2 STORIES OR 24'-6" TO THE TOP OF THE PARAPET | 2 STORIES (28'-0") FROM 1ST GRADE TO TOP OF THE PARAPET |
| MAX. IMPERVIOUS AREA | 18,007.29 SF (45%)                            | 16,261.6 SF (40.7%)                                     |
| MIN. GREEN SPACE     | 22,008.5 SF (55%)                             | 23,754.4 SF (59.3%)                                     |

| MAIN SETBACK REQUIREMENTS: | REQUIRED/ALLOWED | PROVIDED |
|----------------------------|------------------|----------|
| FRONT:                     | 50'-0" MIN.      | 50'-0"   |
| SIDE WEST:                 | 20'-0" MIN.      | 20'-10"  |
| SIDE EAST:                 | 20'-0" MIN.      | 20'-11"  |
| REAR:                      | 25'-0" MIN.      | 65'-0"   |

## AREA CALCULATIONS: TOTALS : SEE SHEET A-01.1

| MAIN STRUCTURE               | FIRST FLOOR | SECOND FLOOR | TOTAL      |
|------------------------------|-------------|--------------|------------|
| PROPOSED RESIDENCE (A/C):    | 5,690.1 SF  | 3,998 SF     | 9,688.1 SF |
| GARAGE:                      | 875 SF      |              | 875 SF     |
| COVERED ENTRY 1              | 127 SF      |              | 127 SF     |
| COVERED BREEZEWAY + CARPORT: | 415.5 SF    |              | 415.5 SF   |
| COVERED BREEZEWAY (REAR)     | 116.2 SF    |              | 116.2 SF   |
| COVERED TERRACE              | 646.5 SF    |              | 646.5 SF   |
| CAR MASTER TERRACE           | 83.7 SF     |              | 83.7 SF    |
| TOTALS:                      | 7,954 SF    | 3,998 SF     | 11,952 SF  |

## NOTES

## LOCUS ARCHITECTURE INCORPORATED

600 South Dixie Highway, Suite 307  
Coral Gables, Florida 33134  
Tel: (305) 742-0120  
Email: locus@locusarchitecture.net  
License: AR 13937

CONSULTANT

| NO. | REVISION/REVISION | DATE     |
|-----|-------------------|----------|
| 1   | OWNER REVIEW      | 04-08-24 |
| 2   | PERMIT SUBMITTAL  | 04-07-24 |

## PROJECT

New 2-Story Residence:  
6100 W Suburban Dr, Pinecrest, FL 33156

## DRAWING

Proposed Site Plan and Zoning Information

| DATE       | SCALE     |
|------------|-----------|
| 2024/06/07 | AS SHOWN  |
| 2024/06/07 | REVIEWED  |
| 2024/06/07 | PROJ. NO. |
| 2024/06/07 | SHEET NO. |

A-01.0





SCALE: 3/32" = 1'-0"



SCALE: 3/32" = 1'-0"

- A-02.0