

COPYRIGHT © 2023 PASQUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.

GENERAL NOTES

1. THIS STRUCTURE SHALL HAVE ALL EXTERIOR GLAZED OPENINGS INCLUDING GLASS BLOCK, SLIDING GLASS DOORS, AND FRENCH DOORS IMPACT GLASS RESISTANT. SEE ATTACHED MFR. AS PART OF THIS SET.
2. ALL WINDOWS GLASS SHALL BE SHGC = 0.31 & U-FACTOR 1.05
3. FRONT DOOR GARAGE DOOR AND ANY SIDE SERVICE EXTERIOR DOOR SHALL BE IMPACT RESISTANT.
4. IN BUILDINGS WITH STONE APPLICATION, PRE-FABRICATED WOOD BRACKETS, AND/OR PRE-FABRICATED TRIMS, A STUCCO SCRATCH COAT SHALL BE PROVIDED ON THE MASONRY BLOCK WITH A WATERPROOFING SEALER (SUPER THOROSEAL OR APPROVED EQUIVALENT) ON TOP OF THE SCRATCH COAT, PRIOR TO THE STONE/PRE-FABRICATED TRIM OR BRACKET INSTALLATION.
5. STUCCO APPLIED TO CONCRETE OR MASONRY SHALL COMPLY WITH FLORIDA BUILDING CODE 2011 - BUILDING, FIFTH EDITION, SECTION 2510.1 AND SECTION 2512.9, AND SHALL CONSIST OF AT LEAST TWO COATS AND THE TOTAL THICKNESS SHALL NOT BE LESS THAN 1/2".

ADDITIONAL NOTE:

* PROVIDE CAT. II LAMINATED GLASS WHERE THERE IS A DROP OF 4' OR MORE WITH A WINDOW SILL LESS THAN 36" AFF.

* AS PER VILLAGE OF PINECREST ZONING DEPARTMENT, THE MINIMUM FFE OF RESIDENCE MUST BE 1033' NGVD. (HIGHEST CROWN OF ROAD + 0.61') WITH ALL BUILDING HEIGHTS BEING MEASURED FROM HIGHEST CROWN OF ROAD, 1134' NGVD, AS PER SURVEY.

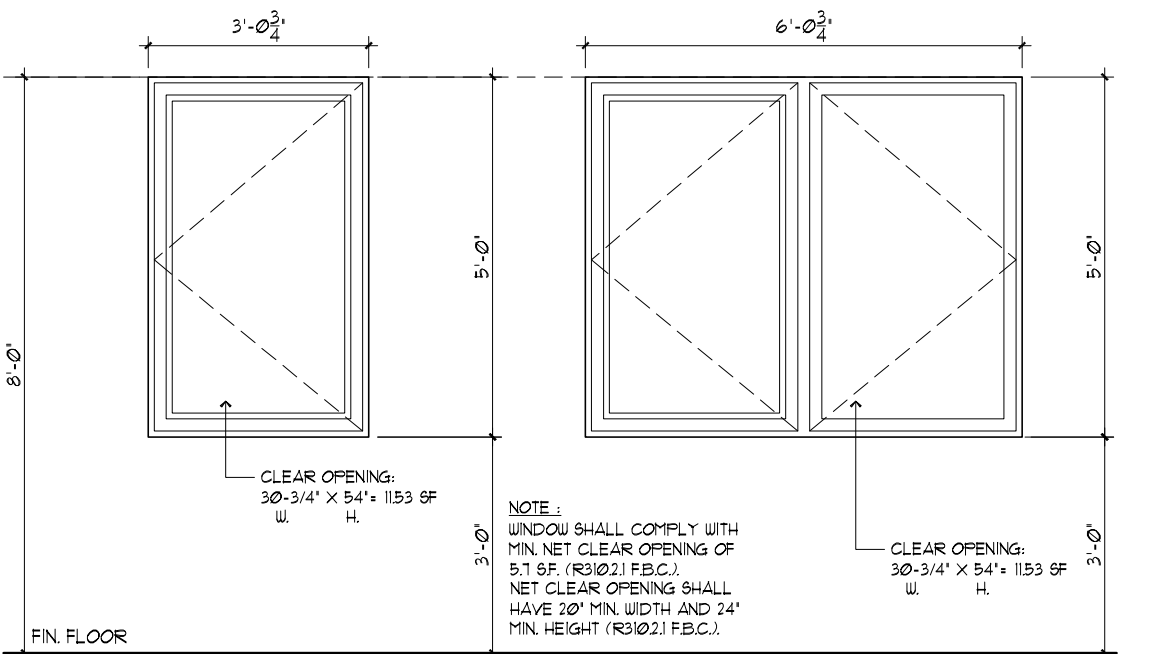
GARAGE (LOWEST HABITABLE FLOOR) FFE IS 1033' NGVD. PLEASE SEE ELEVATIONS ON THIS SHEET FOR BUILDING HEIGHTS AS PER VILLAGE OF ZONING CRITERIA.

ROOF NOTES

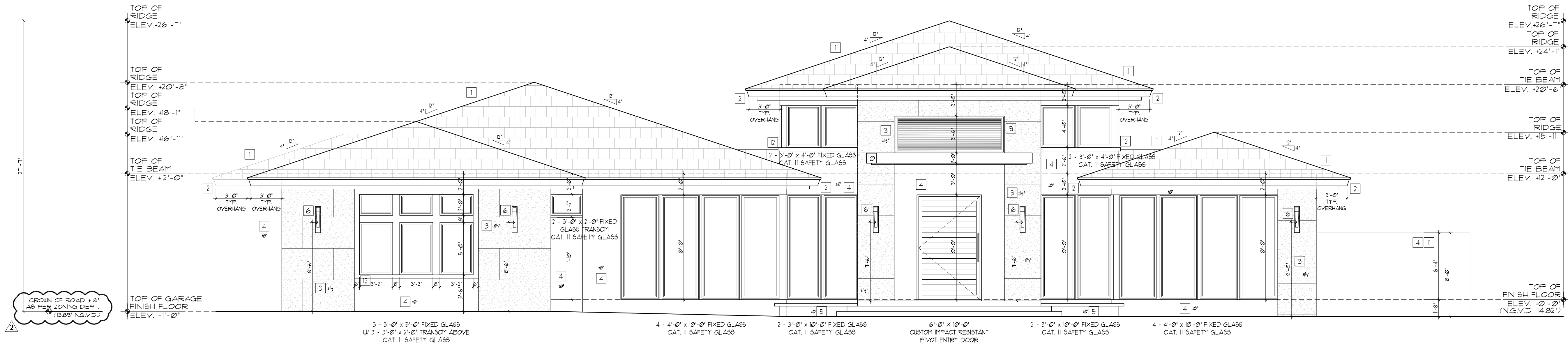
1. TRUSS MANUFACTURER SHALL SUBMIT SHOP DWGS FOR ARCHITECT REVIEW PRIOR TO FABRICATION
2. TRUSS MANUFACTURER SHALL VERIFY ALL KNEE HEIGHTS
3. REFER TO TRUSS MANUFACTURER ENG. DRAWINGS FOR ALL ROOF TRUSSES REQUIRED TEMPORARY AND PERMANENT BRACING, GABLE END BRACING, DETAILS & REQUIRED GRAVITY BRACING.
4. CONC. BEAM DEPTH OVER DOOR/WINDOW OPENINGS MAY VARY AS PER MFR. DOOR/ WINDOW HGT. (FRENCH OR SLIDING DOORS AND WINDOWS UP TO 3' DEEPER)
5. PROVIDE 1/2" CDX PLYWD. FELT MTL. LATH AND STUCCO FINISH AT ALL COVERED TERRACE AND ENTRY CEILING / SOFFITS (TYP).
6. ROOF VENTS TO ATTIC SPACE MUST BE COVERED WITH CORROSION RESISTANT SCREENING. SCREEN OPENINGS TO BE BETWEEN A MIN. OF 1/8" & MAX. OF 1/4" (TYP.) AS PER F.B.C. 2023 SECTION R206.1
7. RAINWATER DOWNSPOUTS SHALL DISCHARGE A MINIMUM OF 12" AWAY FROM THE WALL AS PER F.B.C. 2023 SECTION R310.5

ROOF COVERING SPECIFICATION

1. CEMENT FLAT TILE ROOF ON PEEL AND STICK APPLICATION TO 1-3/8" FELT TIN-TAGGED TO 19/32" PLYWOOD SHEATHING. SPACING OF TIN-TAG FASTENERS ALONG THE LAP OF SHEETS, AND BOTH WAYS IN THE FIELD BETWEEN LAPS, SHALL BE 6" O.C. IN DIRECTION OF ROLL, 12" O.C. ACROSS WIDTH OF ROLL, AS PER F.B.C. 2023. THE 1-3/8" FELT IS ANCHORED TO THE PLYWOOD SHEATHING WITH SEMCO GALVANIZED, DIAMOND POINTS, 1-1/4" X 120" DIAMETER. INSTALLATION SHALL BE PER PRODUCT CONTROL APPROVAL AND MANUFACTURER'S SPECS. WOOD SHEATHING ANCHORAGE SHALL BE NAILED IN ACCORDANCE WITH F.B.C. 2023.2:

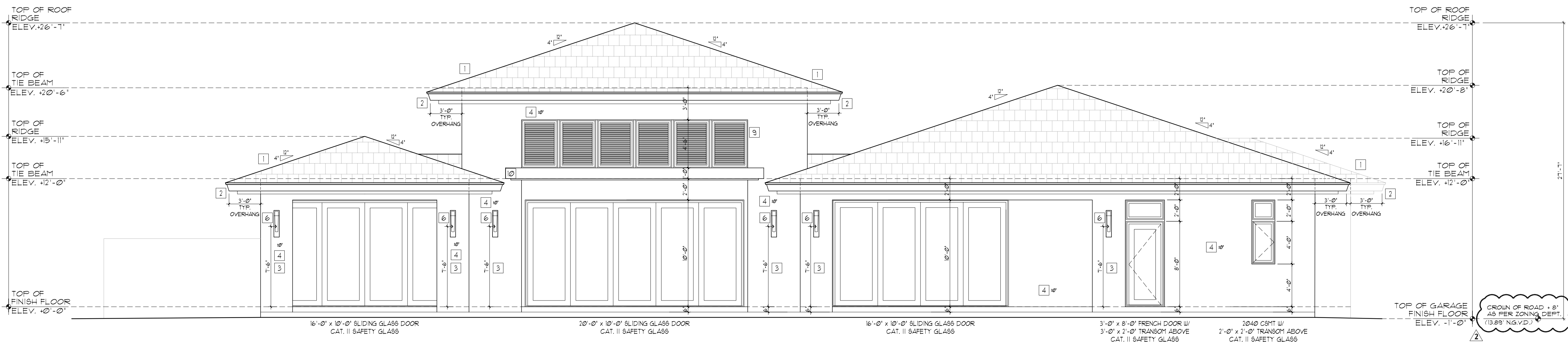


TYP. EGRESS WINDOWS DETL.
NOT TO SCALE



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



NORTH ELEVATION

SCALE: 3/16" = 1'-0"

LEGEND:

- 1 CEMENT FLAT TILE ROOF - SEE ROOF COVERING NOTE ON THIS SHEET
- 2 2" X 8" SMOOTH FINISH WOOD FASCIA
- 3 DECORATIVE STONE VENEER
- 4 SMOOTH STUCCO FINISH
- 5 CONCRETE PLANTER, REFER TO STRUCTURAL DRAWINGS
- 6 COACH LIGHT
- 7 REINFORCED CONCRETE BEAM, REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 8 REINFORCED CONCRETE SLAB AND FOUNDATION, REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 9 PRE-FABRICATED ALUMINUM LOUVER - BY OTHERS
- 10 REINFORCED CANTILEVERED CONCRETE SLAB, REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 11 CONCRETE PRIVACY WALL, REFER TO STRUCTURAL DRAWINGS
- 12 1/2" THICK STUCCO BAND - SEE ELEV. FOR WIDTHS

**PASQUAL
PEREZ
KILIDDJIAN
STARR**

ARCHITECTS + PLANNERS

LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE NO.: AR 0015394
MARIO P. PASQUAL, AIA
LICENSE NO.: AR 0008254
PETER KILIDDJIAN, RA
LICENSE NO.: AR 0093067
ANDREW STARR, RA
LICENSE NO.: AR 0095130

AT THE BEACON CENTER
1330 NW 84TH AVENUE
DORAL, FLORIDA 33126
TELEPHONE: (305) 592-1363
FACSIMILE: (305) 592-6865
http://www.ppkarch.com

COPYRIGHT © PASQUAL, PEREZ, KILIDDJIAN
STARR, ARCHITECTS - PLANNERS
The architectural design and detail drawings
of this building and/or overall project are the
legal property of and all rights are reserved
by the Architect. Their use for reproduction,
construction or distribution is prohibited unless
authorized in writing by the Architect.

REVISIONS:

2. 08.10.23 BLDG. DEPT. REV.

OWNER:
HERITAGE HOME BUILDERS, LLC
9350 SOUTH DIXIE HIGHWAY
SUITE 1500
MIAMI, FL 33156
PHONE: 305.665.3077

NEW CONSTRUCTION AT PINECREST RESIDENCE
BY HERITAGE HOME BUILDERS, LLC.
7725 SOUTHWEST 114 STREET
VILLAGE OF PINECREST, FL 33156

SEAL:

ELEVATIONS

DATE: 0116.2023
SCALE: AS SHOWN
DRAWN BY: SJF
CHECK BY: EP
JOB NO.: 22-22

A-3

SHEET NO.: