

**ADVANCED SECONDARY TREATMENT
STANDARD "ASTS" TYPE III
AS PER CHAPTER 62-6 F.A.C.**
LOT SIZE: 39,493 Sq Ft = .91 ACRES
0.91 ACRES x 2500 = 2,275 G.P.D. . MAX.

FIRST 2,551-3,300 SQ FT 400 GPD
FOR EACH ADDITIONAL 750 S.F. = 60 G.P.D.
6,868 S.F. - 3,300 = 3,568 / 750 = 4.75 x 60 G.P.D. = 285 G.P.D. (USE 300)
300 GPD
700 GPD TOTAL

SEPTICK TANK ----- HOOT H-1000-AN
DRAINFIELD: A DRIP DISPOSAL SYSTEM AS PER TABLE N°
III NETAFIN OR APPROVED EQUAL

**25% APPLIED FOR SECONDARY
TREATMENT STANDARDS "STS"**

ESTIMATED SEWAGE FLOW (G.P.D.) => 700
RATE ABSORPTION IN (G.P.D.) 0.8 (DRIP IRRIGATION)
= 825 SQ FT @ 25% REDUCTION
620 SQ FT RESERVE AREA
REQUIRED 310 SQ FT
UNOBSTRUCTED AREA REQUIRED
930 SQ FT 950 SQ FT PROVIDED

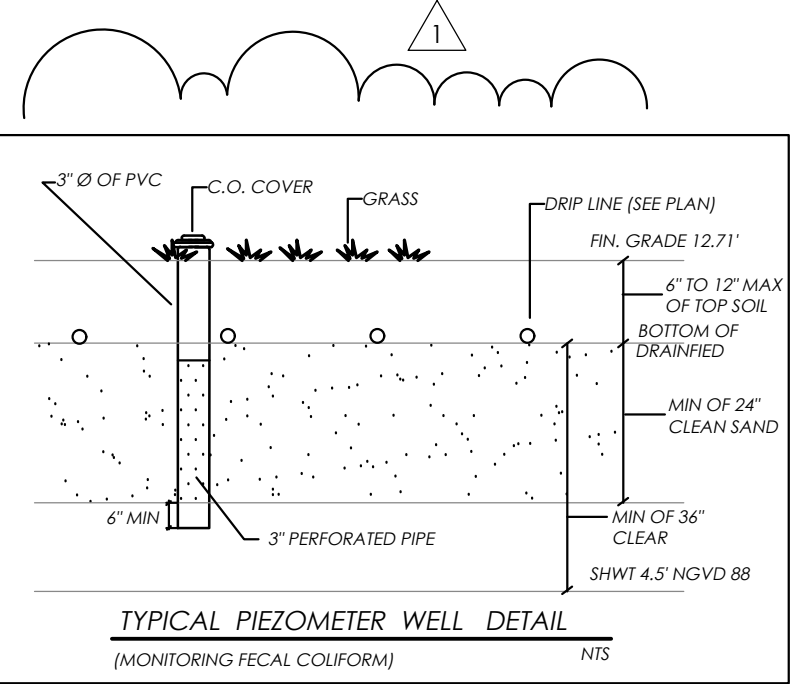
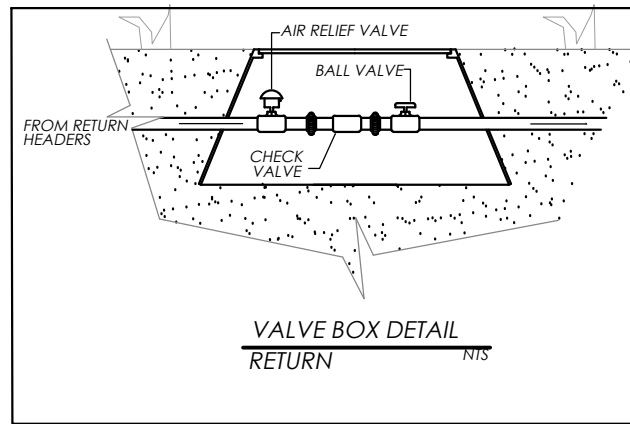
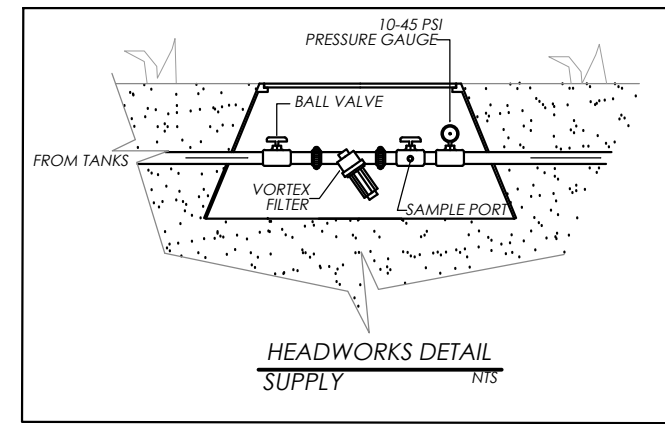
NOTE:
1- WATER PIPES SHALL BE INSTALLED AT LEAST 12" ABOVE THE HIGHEST SEWER PIPE AS PER F.B.C. 603.2 EXCEPTION No1. 2- ALL PENETRATIONS THRU STRUCTURAL BEARING WALLS SHALL BE PROVIDED WITH SLEEVE AS REQUIRED IN COMPLIANCE WITH F.B.C. 305 THRU 305.5

NOTE:
THERE ARE NO PERTINENT FEATURES ON ADJACENT PROPERTIES AND ACROSS THE STREET THAT MAY AFFECT THE SYSTEM INSTALLATION.

PRESSURE LOSS IN 100' OF 1-1/4" TUBING IS 0.39 LBS.
(306 LF) 3.06 X 0.39 =1.20 LBS
PRESSURE LOSS ACROSS FILTER IS 7 PSI INCLUDING FILTER FLUSH
RETURN LINE FLOW RATE WHILE THE SYSTEM IS RUNNING IS 2.3 GPM.
RECIRCULATING RATE TO ACHIEVE 2.0 FT/S SCOURING VELOCITY
10.36 GPM AT 60' OF HEAD PRESSURE TO FIELD WILL BE ADJUSTED
TO ACHIEVE A MAXIMUM OF 30 PSI ON THE SUPPLY MANIFOLD BY
OPENING THE BY PASS PETCOCK LOCATED IN THE PUMP TANK.

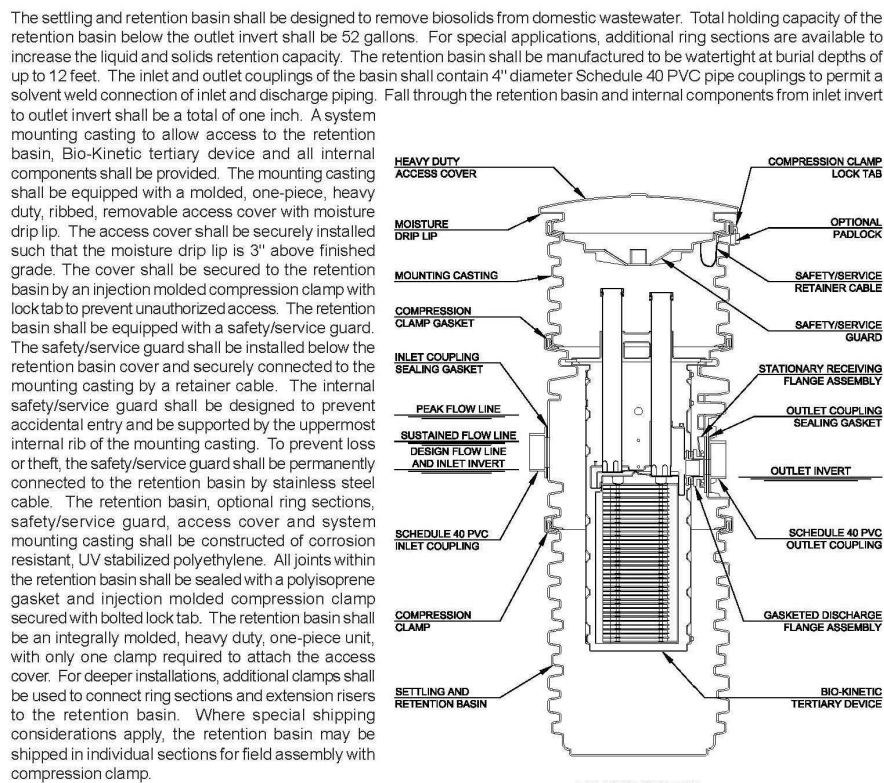
ONE ZONE SYSTEM(LESS THAN 2000 L.F.)
ALL DRIP LINES SHALL BE INSTALLED
BETWEEN 8" AND 6" DEPTH. MIN.
WITH EMITTERS AT 24" O/C .(PIPES 25" SEPARATED.)
620 S.F. AREA / 4 S.F.PER EMITER =
153 EMITTERS REQUIRED. 306 LINEAL FEET OF DRIP LINE

CONTINGENCY PLAN:
AS OWNER OF THE PROPERTY IN THIS PLANS YOU WILL BE REQUIRED TO HAVE A CONTRACT WITH AN APPROVED CERTIFIED MAINTENANCE COMPANY FOR INNOVATIVE SYSTEM (P.B.T.S.), EVERY 2 YEAR MINIMUM AS PER 64-6.027, THIS CONTRACT WILL HAVE THE FOLLOWING ITEMS:
G.) MONITORING: (IN COMPLIANCE WITH 64-6.029)
b.) MAINTENANCE PLAN.
C.) AND IN CASE OF SYSTEM FAILURE :
1) TO CALL MAINTENANCE COMPANY IN THE FIRST 24 HOUR AFTER ALARM OR SYSTEM FAILURE
2) MAINTENANCE COMPANY TO PROVIDE TO TREAT THE EFFLUENT OR TO COLLECT AND DISPOSE THE EFFLUENT UNTIL THE SYSTEM IS IN COMPLIANCE WITH THE ORIGINAL DESIGN PARAMETERS .



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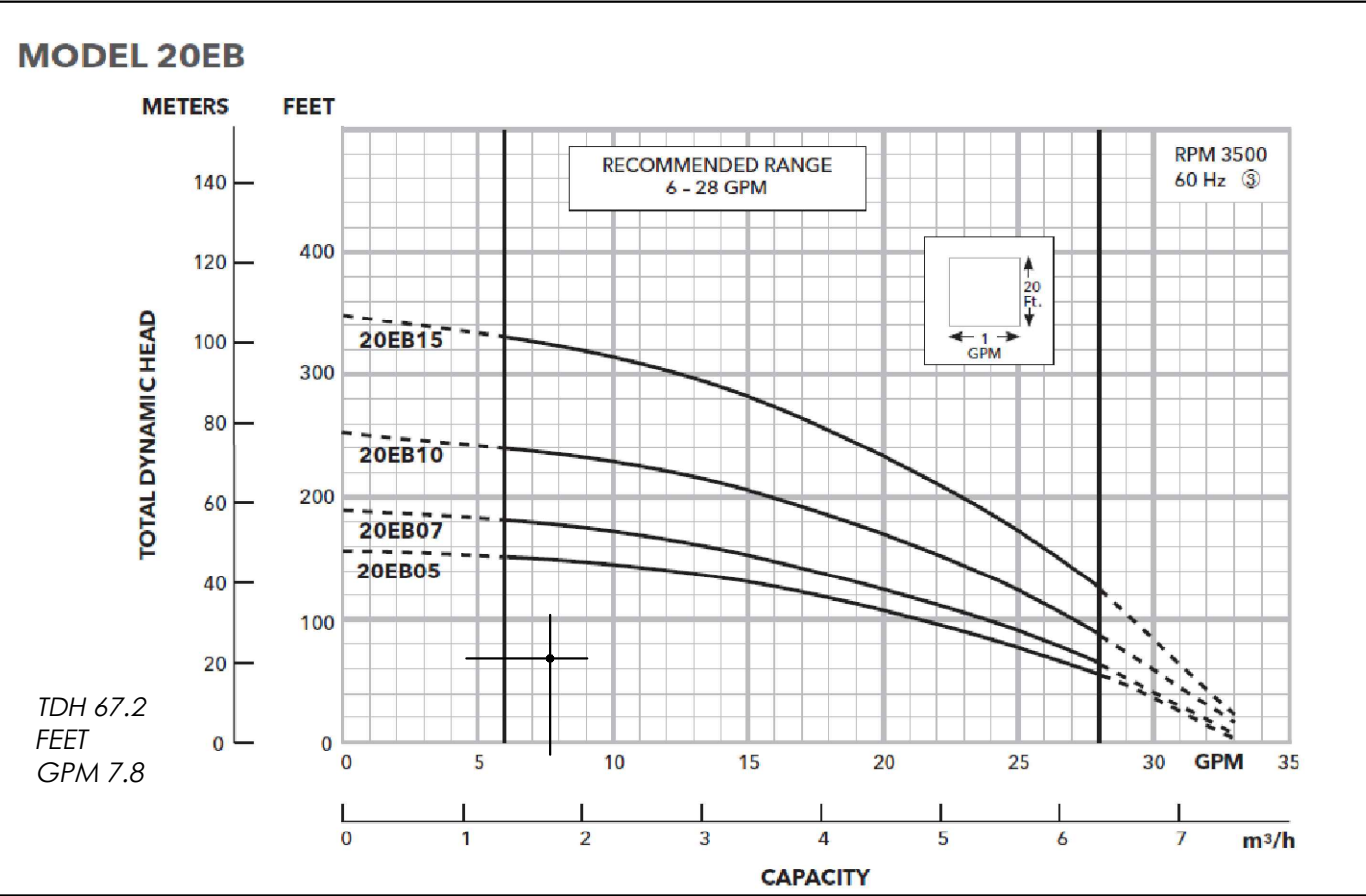
SETTLING AND RETENTION BASIN



EXTENSION RISERS

For installations where the inlet invert of the retention basin is more than 20" below finished grade, optional extension risers shall be installed. Extension risers shall be constructed of the same material as the retention basin, optional ring sections and mounting casting. To permit maximum installation flexibility and to accommodate various treatment system elevations, individual extension risers shall be available in 12" increments from 12" up to 72" in height. When an extension riser is used, the internal safety/service guard shall be mounted in the uppermost rib of the riser, directly below the access cover. Extension risers shall be connected to the mounting casting and sealed with a polyisoprene gasket and injection molded compression clamp.

**GOULDS 20EB SERIES
SUBMERSIBLE EFFLUENT PUMP**



20EB-SERIES ELECTRICAL DATA

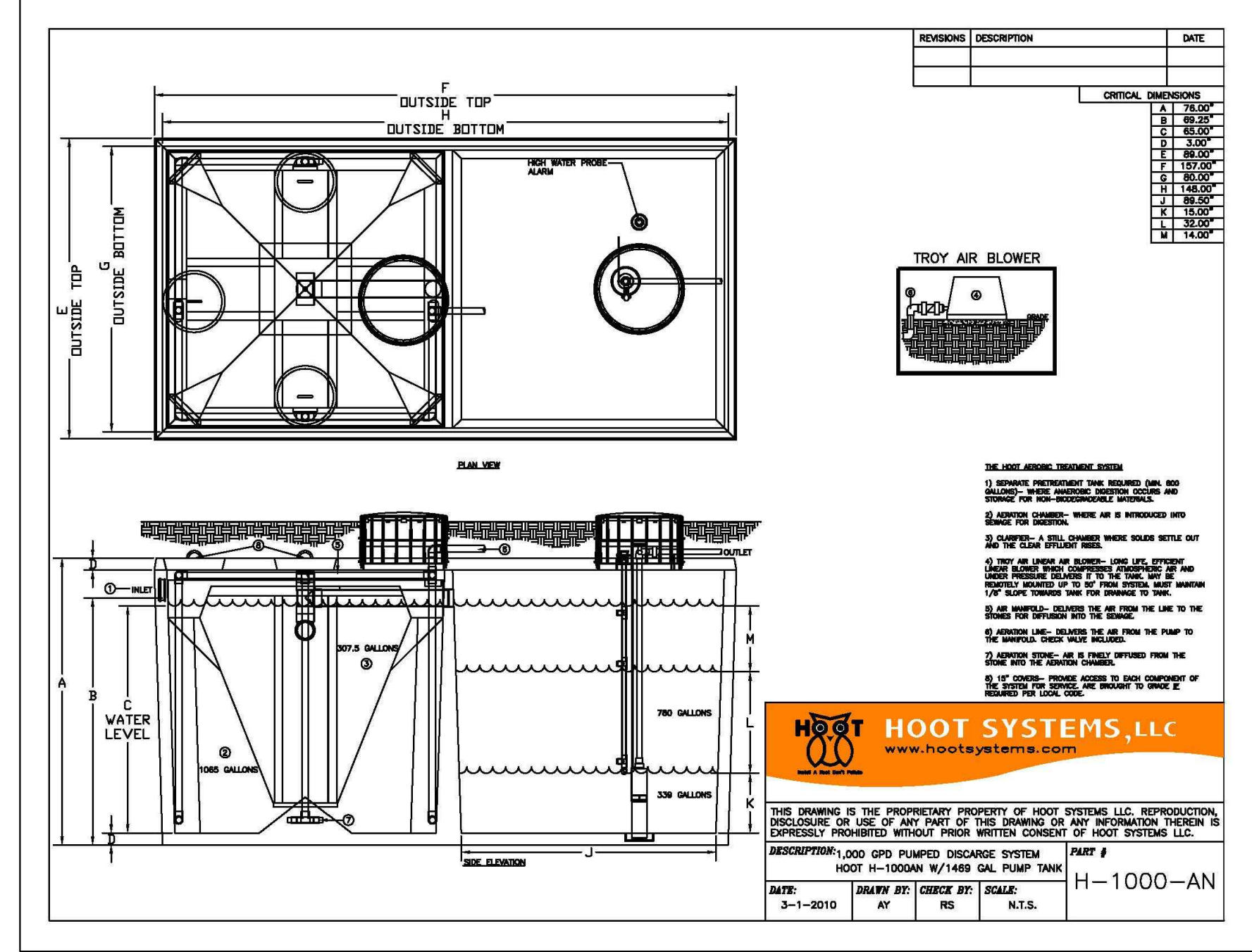
MODEL	HP	VOLTAGE	PHASE	SF	FULL LOAD AMPS	LOCKED ROTOR AMPS	THERMAL OVERLOAD TEMP	STATOR WINDING CLASS	CORD LENGTH FT	DISCHARGE	AUTOMATIC
20EB 0522J	.5	120	1	1.00	6.8	10.5	120°C 248°F	B	25	1-1/4" Ø	YES

OSTDS CALCULATIONS PER CHAPTER 62-6 F.A.C.			
NET LOT SIZE =	43,542 SQ.FT. =	1.0 ACRES	
LAND USE :	SINGLE FAMILY RESIDENCE		
BUILDING AREA =	5549 SQ.FT	5 BEDROOM	
SEWAGE FLOW			
MAXIMUM SEWAGE LOADING ALLOWANCE =	2499 GPD/ACRE (1500 GPD/ACRE OR 2500 GPD/ACRE)		
AUTHORIZED SEWAGE FLOW=	2500 GPD/ACRE *	1.0 ACRES=	2499 GPD
UNIT FLOW CRITERIA (PER TABLE 1)	2500		
SEWAGE FLOW PER UNIT FLOW =	700		
TOTAL SEWAGE FLOW =	700 GPD		
TREATMENT TANK AND DRAINFIELD			
PROPOSED SYSTEM : ADVANCED SECONDRY TREATMENT STANDARDS			
MINIMUM REQUIRED TREATMENT SYSTEM CAPACITY =	700 GPD		
DRAINFIELD CONFIGURATION : DRIP IRRIGATION SYSTEM			
DRAINFIELD MATERIAL :	NEOFIN		
MAXIMUM SEWAGE LOADING RATE FOR THE PROPOSED DRAINFIELD =	0.8 GAL/FT² DAY		
DRAINFIELD SIZE =	700 GPD / 0.8 GAL/FT² DAY =	875 FT²	
SEPARATION BETWEEN THE SHWT AND BOTTOM OF DRAINFIELD (NGVD 88)			
GRADE ELEVATION =	12.71 FT		
SEASONAL HIGH WATER TABLE ELEVATION =	4.50 FT		
ELEVATION AT BOTTOM OF DRAINFIELD =	12.11 FT		
SEPARATION BETWEEN SHWT AND BOTTOM OF DRAINFIELD =	8.21 FT		

DETERMINATION OF OSTDS TYPE AND STANDARDS PER SECTION 24-42.7			
GROSS LOT SIZE =	43,542.0 FT² =	1.0 ACRES	
LAND USE:	SINGLR FAMILY HOUSE		
GROSS BUILDING AREA =	5520 FT²		
SEWAGE FLOW =	700 GPD		
SEWAGE LOADING =	700 GPD/	1.0 ACRES=	700 GPD/ARCE
Yes/No	CRITERIA FOR OSTDS TYPE SELECTION		
Yes	PROPERTY WILL BE SERVED BY PUBLIC WATER		
No	PROPERTY COMPLETELY OUTSIDE WELFIELD PROTECTION AREA		
No	SURFACE WATER BODIES BEYOND 1000 FEET		
No	SEWAGE FLOW IS LESS THAN 500 GPD FOR SPS /DUPLEX		
Yes	SEWAGE FLOW IS LESS THAN 1000 GPD FOR MULTI-FAMILY/OTHER USES		
No	SEWAGE LOADING LESS THAN 500 GPD/ ACRE		
Yes/No	OTHER CONSIDERATIONS FOR OSTDS APPROVAL		
Yes	SANITARY SEWERS NOT AVAILABLE, ABUTTING, OR OPERATIVE		
Yes	SYSTEM WILL SERVE ONLY ONE LOT		
Yes	PROPERTY LINES OVER 50 FEET FROM OSTDS FOR PROPERTIES SERVED BY A POTABLE		

TYPE OF SYSTEM REQUIRED: ASTS HOOT 1000 pick one : ATU (1) STS (2) ASTS (3) AWTS (4)
TOTAL NITROGEN TREATED BY: ASTS
TOTAL PHOSPHORUS TREATED BY: ASTS
FECAL COLIFORM TREATED BY: ASTS
SOURCE OF TREATMENT STANDARDS: ASTS

POLLUTANT	TREATMENT STANDARDS	
	REQUIRED (mg/l) (ANNUAL AVERAGE)	PROPOSED (mg/l) (ANNUAL AVERAGE)
CBODs	= OR<10 mg/l	= OR<10 mg/l
TSS	= OR<10 mg/l	= OR<10 mg/l
TP	= OR<20 mg/l	= OR<20 mg/l
TP	= OR<30 mg/l	= OR<30 mg/l
FECAL COLIFORM (1c/100ml)	= OR<20 fc col/100ml	= OR<20 fc col/100ml



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PEREZ
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1 B.D.C. 08-24-23

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HERITAGE HOME BUILDERS, LLC
9350 SOUTH DIXIE HIGHWAY
SUITE 1500
MIAMI, FL 33156
PHONE: 305.665.3077

NEW CONSTRUCTION AT PINECREST RESIDENCE:
BY HERITAGE HOME BUILDERS, LLC.
7725 SOUTHWEST 114 STREET
VILLAGE OF PINECREST, FL 33156

SEAL:

**SITE
PLUMBING NOTES & DETAILS**
DATE : 03/23/2023
SCALE : AS SHOWN
DRAWN :
CHECK BY:
JOB NO. : 23_0012

P-1

SHEET NO. :

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