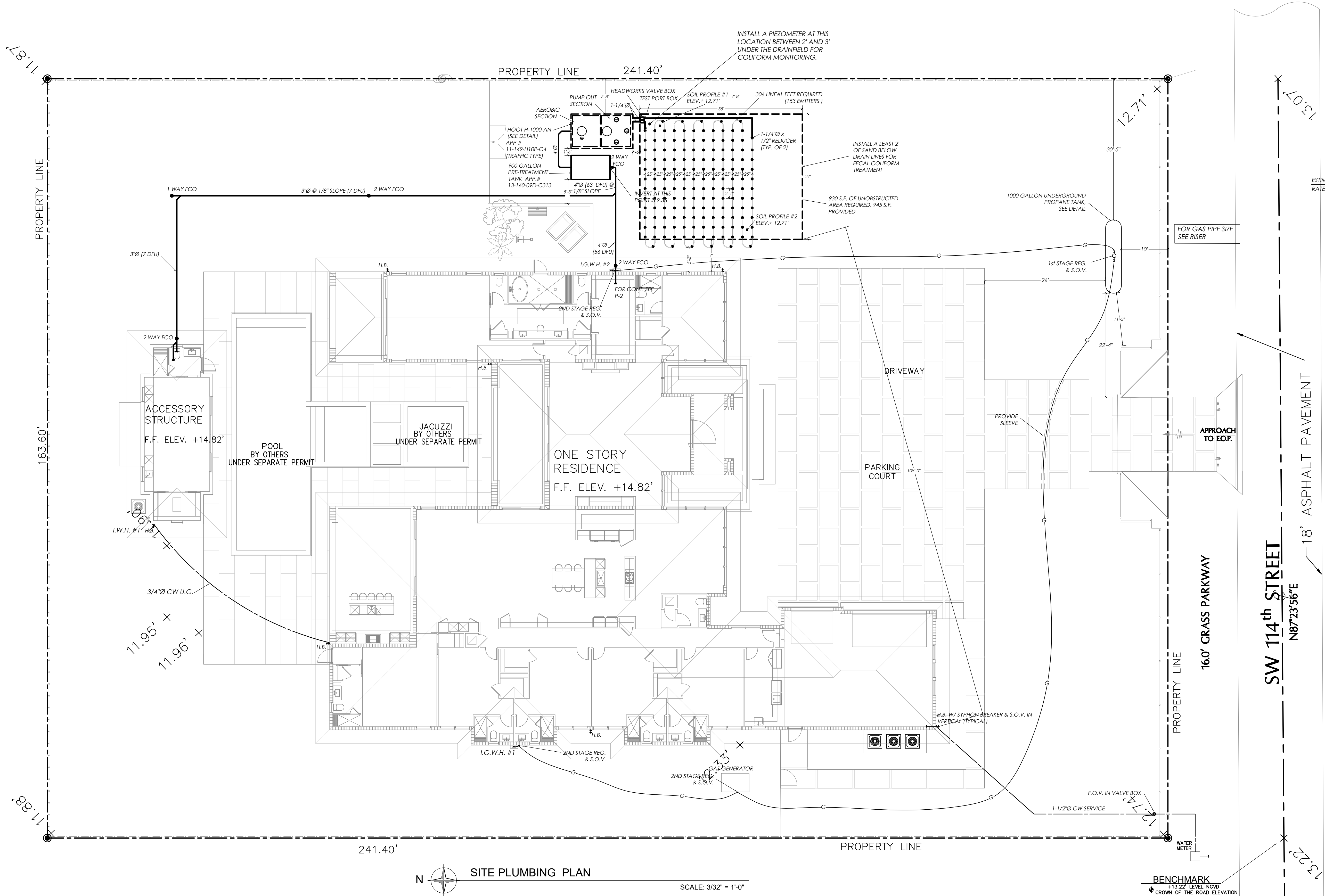




- NOTES FOR VILLAGE OF PINECREST:
- 1- NO FILL OF ANY KIND CAN BE BROUGHT ON SITE OR TO THE R.O.W. OUTSIDE OF THE BUILDING FOOTPRINT.
 - 2- NO RUNOFF GENERATED FROM THE DRIVEWAY IS PERMITTED TO DISCHARGE DIRECTLY TO THE R.O.W. OR ADJACENT PROPERTIES.
 - 3- NO TREES ARE TO BE PLANTED IN THE R.O.W. BEFORE A CONDITIONAL APPROVAL OF THE ROUGH GRADING OF THE SWALE HAS BEEN APPROVED BY THE PUBLIC WORKS.
 - 4- NO SHRUBS ARE TO BE PLANTED IN THE R.O.W. AND ANY EXISTING SHRUBS ARE TO BE REMOVED.
 - 5- NO IRRIGATION, LIGHTING OR ELECTRICAL COMPONENTS OF ANY KIND MAY BE INSTALLED IN THE R.O.W.
 - 6- ALL PROPOSED TREES IN THE R.O.W. WILL BE PLANTED AT A MINIMUM OF 7' FROM THE EDGE OF PAVEMENT TO THE FACE OF THE TREE AND WILL BE OF A TYPE, KIND AND SPACING AS APPROVED BY THE VILLAGE ARBORIST.
 - 7- ANY DECORATIVE D.W. IN THE R.O.W. SHALL HAVE AN 8\"/>

SECONDARY TREATMENT STANDARD "STS" APPLIED FOR 25% REDUCTION

LOT SIZE: 39,493 Sq Ft = .91 ACRES
0.91 ACRES x 2500 = 2,275 G.P.D. MAX.

SYSTEM CALCULATION:

DATA: TOTAL A/C AREA 6,868 Sq Ft HOUSE (6 BEDROOM)
ESTIMATED SEWAGE FLOW CALCULATION AS PER TABLE No IV

FIRST 2,251-3,300 SQ FT FOR EACH ADDITIONAL 750 S.F. = 60 G.P.D.
6,868 S.F. - 3,300 = 3,568 / 750 = 4.75 x 60 G.P.D. = 285 G.P.D. (USE 300) 400 GPD
300 GPD TOTAL

SEPTIC TANK ----- HOOT H-1000-AN

DRAINFIELD: A DRIP DISPOSAL SYSTEM AS PER TABLE No
III NETAFIM OR APPROVED EQUAL

25% APPLIED FOR SECONDARY TREATMENT STANDARDS "STS"

ESTIMATED SEWAGE FLOW (G.P.D.) → 700 = 825 SQ FT @ 25% REDUCTION
RATE ABSORPTION IN (G.P.D.) 0.8 (DRIP IRRIGATION) 620 SQ FT RESERVE AREA
REQUIRED 310 SQ FT UNOBSTRUCTED AREA REQUIRED
930 SQ FT 950 SQ FT PROVIDED

ONE ZONE SYSTEM(LESS THAN 2000 L.F.)
ALL DRIP LINES SHALL BE INSTALLED BETWEEN 8" AND 6" DEPTH. MIN. WITH EMITTERS AT 24" O/C. (PIPES 25" SEPARATED.)
620 S.F. AREA / 4 S.F.PER EMITER = 153 EMITTERS REQUIRED. 306 LINEAL FEET OF DRIP LINE

PRESSURE LOSS IN 100' OF 1-1/4" TUBING IS 0.39 LBS.
(306 LF) 3.06 X 0.39 = 1.20 LBS
PRESSURE LOSS ACROSS FILTER IS 7 PSI INCLUDING FILTER FLUSH
RETURN LINE FLOW RATE WHILE THE SYSTEM IS RUNNING IS 2.3 GPM.
RECIRCULATING RATE TO ACHIEVE 2.0 FT/S SCOURING VELOCITY
10.36 GPM AT 60' OF HEAD PRESSURE TO FIELD WILL BE ADJUSTED
TO ACHIEVE A MAXIMUM OF 30 PSI ON THE SUPPLY MANIFOLD BY OPENING THE BT PASS PETCOCK LOCATED IN THE PUMP TANK.

NOTE:
1- WATER PIPES SHALL BE INSTALLED AT LEAST 12" ABOVE THE HIGHEST SEWER PIPE AS PER F.B.C. 603.2 EXCEPTION No.1.
2- ALL PENETRATIONS THRU STRUCTURAL BEARING WALLS SHALL BE PROVIDED WITH SLEEVE AS REQUIRED IN COMPLIANCE WITH F.B.C. 305 THRU 305.5.

NOTE:
THERE ARE NO PERTINENT FEATURES ON ADJACENT PROPERTIES AND ACROSS THE STREET THAT MAY AFFECT THE SYSTEM INSTALLATION.

STS PERFORMANCE STANDARD

COD	=OR<20 mg/l
TSS	=OR<20 mg/l
TN	NO APPLICABLE
TP	NO APPLICABLE
FECAL COLIFORM.....	=OR<200fc COL/100 ml mg/l

CONTINGENCY PLAN:
AS OWNER OF THE PROPERTY IN THIS PLANS YOU WILL BE REQUIRED TO HAVE A CONTRACT WITH AN APPROVED CERTIFIED MAINTENANCE COMPANY FOR INNOVATIVE SYSTEM (I.P.S.I.S.), EVERY 2 YEAR MINIMUM AS PER 64E-6.027. THIS CONTRACT WILL HAVE THE FOLLOWING ITEMS:
a) MONITORING (IN COMPLIANCE WITH 64E-6.029)
b) MAINTENANCE PLAN.
c) AND IN CASE OF SYSTEM FAILURE :
1) TO CALL MAINTENANCE COMPANY IN THE FIRST 24 HOUR AFTER ALARM OR SYSTEM FAILURE.
2) MAINTENANCE COMPANY TO PROVIDE TO TREAT THE EFFLUENT OR TO COLLECT AND DISPOSE THE EFFLUENT UNTIL THE SYSTEM IS IN COMPLIANCE WITH THE ORIGINAL DESIGN PARAMETERS .

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Project No.: 22_0012

PASCUAL PEREZ KILIDDJIAN STARR
ARCHITECTS + PLANNERS

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REVISIONS:

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HERITAGE HOME BUILDERS, LLC
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SUITE 1500
MIAMI, FL 33156
PHONE: 305.665.3077

NEW CONSTRUCTION AT PINECREST RESIDENCE:
BY HERITAGE HOME BUILDERS, LLC
7725 SOUTHWEST 114 STREET
VILLAGE OF PINECREST, FL 33156

SEAL:

SITE PLUMBING PLAN

DATE: 03/23/2023
SCALE: AS SHOWN
DRAWN:
CHECK BY:
JOB NO.: 23_0012

P.1

SHEET NO.: