

MIAMI-DADE COUNTY
DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES

<http://www.miamidade.gov/building/home.asp>

9/23/2024 7:43:23 PM

Tracking #	Process #	Permit #
2024008008	M2024008008	2024075190

THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.

Process #	Review	Disposition	Reviewer	Date
M2024008008	DEPT OF HEALTH	A	VALDIVIESO, JOSE	9/23/2024
M2024008008	WASA	A	ROCA, ROBERTO	4/23/2024
M2024008008	DERM ONSITE SEWAGE TREATMENT & DISPOSAL SYSTEMS	A	HERNANDEZ ACOSTA, JESUS	8/13/2024
M2024008008	UPFRONT FEES	A	WEB APPLICATION ID	1/29/2024
M2024008008	DERM CORE	A	CASTELLANOS, LEYSI	7/31/2024
M2024008008	IMPACT FEES	A	INTERNET IMPACT FEES (IFS)	9/23/2024
M2024008008	DERM PAVING & DRAINAGE	A	JUNCO PI, RAUL	1/31/2024

Disclaimer.

Subject to compliance with all Federal, State, and County Laws, rules and regulations. Miami-Dade County assumes no responsibility for accuracy of or results of these plans.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to the property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

Stamp Name	Trade	Disposition	Stamp Description
Approved	DERM	A	Approved
Void	DERM	V	Void
Approved	HRS	A	Approved
Disapproved	HRS	D	Disapproved
Void	HRS	V	Void
Approved	OTDS	A	Approved
Void	OTDS	V	Void



Department of Regulatory and Economic Resources
Impact Fee Assessment

Process Number: M2024008008-0

Batch:

Collection Number:

Folio: 2050120040710

Site Address: 6445 SW 107 ST

CP*: N

Assessment Date: 01/29/2024

Fee Payer:

Online Payment available at:

CP*: Exempt from Public Records 119.071 Florida Statutes <https://www.miamidade.gov/apps/rer/ImpactFeesPayments/default.aspx>

Y: Exempt

N: No Exempt

Blank: No info

Payment can be made by Credit Card, Cash, Check or Cashiers's Check

Payable to Miami Dade County

Fee Type	Dist Id	Category Code	Cat Suffix	Category Description	Units	Fee	Extended Amount
AREA							
	1	5002	00	UNIT SIZE (SQ FT)	70	\$0.9180	\$64.26

Assessment Total Amount: \$64.26

Deferral Amount: \$0.00

Current Balance Due: \$64.26

NOTE: ALL SHEETS MUST BE REVIEWED

MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES

Herbert S. Saffir Permitting and Inspection Center

11805 SW 26th Street (Coral Way) • Miami, Florida 33175-2474 • (786) 315-2000

APPLICATION FOR MUNICIPAL PERMIT APPLICANTS THAT REQUIRE PLAN REVIEW FROM MIAMI-DADE FIRE RESCUE AND/OR ENVIRONMENTAL SERVICES

Village of Pinecrest Process # BL2022-1894

PROVIDE MUNICIPAL PROCESS NUMBER HERE				
LOCATION OF IMPROVEMENTS	Job Address <u>6445 SW 107 ST. PINECREST, FL. 33156</u>		CONTRACTOR INFORMATION	Contractor No. <u>CGC1527691</u>
	Folio <u>20-5012-004-0710</u>			Last four (4) digits of Qualifier No. <u>2285</u>
	Lot _____ Block _____			Contractor Name <u>J. Palmer Group, INC.</u>
	Subdivision _____ PBpg _____			Qualifier Name <u>Jonathan Robert Palmer</u>
	Metes and bounds _____			Address <u>15715 S Dixie Hwy. #329</u>
				City <u>Miami</u> State <u>FL</u> Zip <u>33157</u>
TYPE OF IMPROVEMENTS	☐ New Construction on Vacant Land			Current use of property <u>Single -Family</u>
	☐ Alteration Interior			Description of Work <u>Interior Remodeling & Addition</u>
	☒ Alteration Exterior			Sq. Ft. <u>4,723</u> Units <u>1</u> Floors <u>1</u>
	☐ Relocation of Structure			Value of Work <u>\$489,770.00</u>
	☐ Enclosure			
	☐ Repair			
	☐ Repair Due to Fire			
PERMIT TYPE	☒ MBLD* Category <u>02</u>		REVIEW STATUS	Owner <u>Chris & Lisa Montero</u>
	☐ MELE <u>02</u>			Address <u>6445 SW 107 ST.</u>
	☐ MPLU <u>02</u>			City <u>Pinecrest</u> State <u>FL</u> Zip <u>33156</u>
	☐ MLPG <u>02</u>			Phone <u>305-310-5992</u>
	☐ MMEC <u>02</u>			Last four (4) digits of
	☐ FIRE <u>02</u>			Owner's Social Security No. <u>2344</u>
PERSON TO PICK UP PLANS	Name <u>Jose Diaz</u>		ARCHITECT / ENGINEER	Owner <u>Jose Diaz</u>
	Address <u>8592 SW 169 TER.</u>			Address <u>8592 SW 169 Terrace</u>
	City <u>Palmetto Bay</u> State <u>FL</u> Zip <u>33157</u>			City <u>Palmetto Bay</u> State <u>FL</u> Zip <u>33157</u>
	Phone <u>305-310-5992</u>			Phone <u>305-310-5992</u>
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	<i>I am requesting a Special Request Plan Review (SRI) to be scheduled as soon as possible. There is a minimum charge of one-hour. Please contact the Fire Department for current rate.</i>			
	1 st Request: _____ Date: _____			
	2 nd Request: _____ Date: _____			
	3 rd Request: _____ Date: _____			
If the applicant is a known named violator with: unpaid civil penalties; unpaid administrative costs of hearing; unpaid County investigative, enforcement, testing, or monitoring costs; or unpaid liens, any or all of which are owed to Miami-Dade County pursuant to the provisions of the Code of Miami-Dade County, Florida, a hold on the review may be placed on this application.				

COVER LETTER.

6445 SW 107 TH ST
PINECREST, FL 33156
TO WHOM CONCERN:
THIS NOTES SERVES AS A REQUEST FOR APPROVAL OF THE ABOVE REFERENCED SITE FOR A PERFORMANCE BASE TREATMENT SYSTEM MEETING (ADVANCE SECONDARY TREATMENT).
STANDARDS FOR CBOD 5, TSS, TN, TP AND FECAL CONSISTING OF FUJI CLEAN CEN7 FUJI CLEAN CEN 7 WITH CHLORINATION/DECHLORINATION B-K M 2000 GD NORWECO

MONITORING REQUIREMENTS.

THE FUJI CLEAN CEN7 WHEN PROPERLY MAINTAINED AND OPERATED, CAN REDUCE EFFLUENT TO 20 mg/l OR LESS FOR CBOD 5, TSS AND TP AND 20 mg/l OR LESS FOR TN. FECAL COLIFORM SHALL BE SAMPLED FROM THE SAMPLING PORT. AS PER DOH MEMO #08-003.

SAMPLING FOR FECAL SHALL OCCUR QUARTERLY AND SHALL BE TAKEN FROM THE SAMPLING PORT. COVER VEGETATION SHALL BE ST. AUGUSTINE GRASS OR OTHER APPROVED VEGETATION. SAMPLING FOR CBOD 5, TSS, TN & TP SHALL BE TAKEN FROM THE SAMPLING PORT.

SYSTEM DESIGN CRITERIA.

CBOD5 ≤ 10 MG/L
TSS ≤ 10 MG/L
TN 50% removal Mg
TP 10 MG/L
FECAL ≤ 200 CFU

RESIDENCE: 700 GPD SEWAGE FLOW

DRAINFIELD AREA REQUIRED = 875 FT²
UNOBSTRUCTED AREA REQUIRED = 1,313 FT²

*SEE ATTACHED WITH ADDITIONAL DESIGN CALCULATIONS.

CONTINGENCY PLAN:

- AT THE HIGH WATER LEVEL, THE SYSTEM WILL START AN ALARM. THE OWNER MUST CONTACT THE MAINTENANCE ENTITY WITHIN 24 HOURS.
- MAINTENANCE ENTITY PERSONNEL WILL INSPECT THE SYSTEM AND MAKE NECESSARY REPAIRS.

OPERATION AND MAINTENANCE.

THE OPERATIONS AND MAINTENANCE MANUALS ARE PROVIDED TO THE INSTALLER AND MAINTENANCE ENTITY AT THE TIME OF INSTALLATION. THESE MANUALS HAVE MOSTLY LIKELY BEEN PREVIOUSLY SUBMITTED TO THE REGULATORY OFFICE.

INSTALLATION.

THE INSTALLATION INSTRUCTIONS WILL BE PROVIDED BY FUJI CLEAN.

OSTDS CALCULATIONS PER CHAPTER 62-6 F.A.C.

NET LOT SIZE = 39,204 FT² = 0.9 ACRES.
LAND USE: SFR
BUILDING AREA = 6,984 FT².

SEWAGE FLOW:
MAXIMUM SEWAGE LOADING ALLOWANCE = 2,500 GPD/ACRE (1,500 GPD/ACRE OR 2,500 GPD/ACRE).
AUTHORIZED SEWAGE FLOW = 2,500 GPD/ACRE x 0.9 ACRES = 2,250 GPD.
UNIT FLOW CRITERIA (PER TABLE 1): 6 BED, 6,984 SF A/C
SEWAGE FLOW PER UNIT FLOW = 700 GPD.
TOTAL SEWAGE FLOW = 700 GPD.

TREATMENT TANK AND DRAINFIELD:
PROPOSED SYSTEM: FUJI CLEAN CEN 7 WITH CHLORINATION/DECHLORINATION B-K M 2000 GD NORWECO
MINIMUM REQUIRED TREATMENT CAPACITY = 700 GPD (700 GLS TREATMENT TANK)
DRAINFIELD CONFIGURATION = TRENCH
DRAINFIELD TYPE = STANDARD
DRAINFIELD MATERIAL: CHAMBER ARC 24
MAXIMUM SEWAGE LOADING RATE FOR THE PROPOSED DRAINFIELD = 0.8 GAL/FT² DAY.
DRAINFIELD SIZE = 700 GPD / 0.8 GAL/FT² DAY = 875 FT² + 438 FT² RESERVE
TOTAL UNOBSTRUCTED A 1,313 FT²

SEPARATION BETWEEN THE SHWT AND BOTTOM OF THE DRAINFIELD (ELEVATION IN NGVD)
GRADE ELEVATN = 9.38 FT.
SEASONAL HIGH WATER TABLE ELEVATION = 4.0 FT.
ELEVATION AT THE BOTTOM OF THE DRAINFIELD = 7.0 FT.
SEPARATION BETWEEN SHWT AND BOTTOM OF DRAINFIELD = 36 INCHES.

DETERMINATION OF OSTDS TYPE AND STANDARDS PER SECTION 24-42.7

GROSS LOT SIZE = 43,567 FT² = 1 ACRES.
LAND USE: SFR
GROSS BUILDING AREA = 8,825 FT².
SEWAGE FLOW = 510 GPD.
SEWAGE LOADING = 510 GPD / 1 ACRES = 510 GPD/ACRE

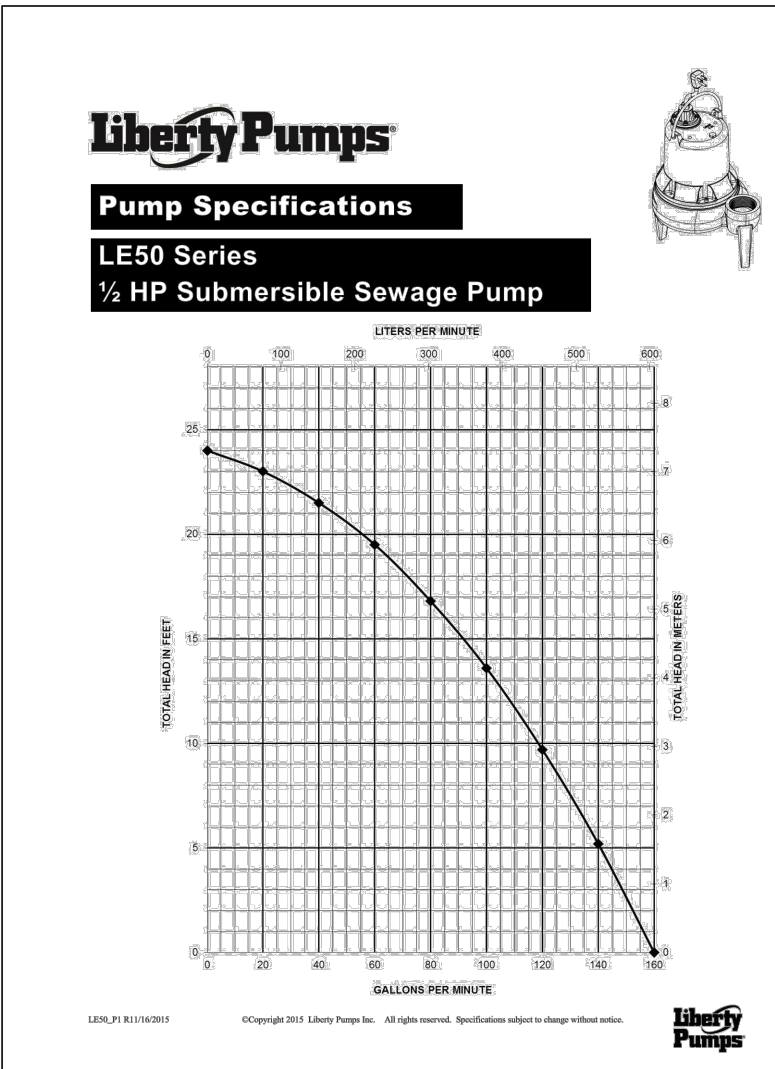
Y	N	CRITERIA FOR OSTDS TYPE SELECTION:
Y		PROPERTY WILL BE SERVED BY PUBLIC WATER.
Y		PROPERTY COMPLETELY OUTSIDE WELLFIELD PROTECTION AREA.
Y		SURFACE WATER BODIES BEYOND 1000 FEET.
Y		SEWAGE FLOW IS LESS THAN 500 GPD FOR SFR / DUPLEX.
Y		SEWAGE FLOW IS LESS THAN 1000 GPD FOR MULTI-FAMILY / OTHER USES.
N/A		
N		SEWAGE LOADING LESS THAN 500 GPD/ACRE.

Y	N	OTHER CONSIDERATIONS FOR OSTDS APPROVAL:
Y		SANITARY SEWERS NOT AVAILABLE, ABUTTING, OR OPERATIVE.
Y		SYSTEM WILL SERVE ONLY ONE LOT.
Y		PROPERTY LINES OVER 50 FEET FROM OSTDS FOR PROPERTIES SERVED BY A POTABLE WATER WELL.

TYPE OF SYSTEM REQUIRED: TYPE 3 ADVANCE SECONDARY TREATMENT.
TOTAL NITROGEN TREATED BY: FUJI CLEAN CEN 7
TOTAL PHOSPHORUS TREATED BY: 10 MG/L
FECAL COLIFORM TREATED BY: CHLORINATION AND DECHLORINATION, BK NORWECO/ M 2000CD.
SOURCE OF TREATMENT STANDARDS: FDEP TESTING PERFORMANCE DATA FOR PBTS.

POLLUTANT	TREATMENT STANDARDS	PROPOSED (mg/L) (Annual Average)
CBOD5	≤ 10 mg/L	5 mg/L
TSS	≤ 10 mg/L	5 mg/L
TN	50% removal Mg/L	74% removal
TP	10 mg/L	10 MG/L
FECAL COLIFORM (cfu/100ml)	≤ 200	2 CFU

Miami Dade County Department of Regulatory and Economic Resources Job Copy
20240808 - 9/23/2024 7:43:23 PM
6445 SW 107 TH ST-Standard System-DESIGNED 07-26-2024 1.pdf
Examine Time 25:00
FECAL COLIFORM (cfu/100ml) 200 ML
VALDIVIESO, JOSE 9/20/2024 12:30:48 PM HRS Approved
HERNANDEZ ACOSTA, JESUS 8/13/2024 2:06:39 PM OTDS Approved



MODEL	HP	VOLTAGE	PHASE	BF	FILL LOAD (AMPS)	LOCKED ROTOR (AMPS)	TERMINAL OVERLOAD TEMP	STATOR WINDING (CLAS)	CORE LOSS (FT)	DISCHARGE	AUTOMATIC	
LESD-1	1/2	115	1	1.00	12	22.5	180°C	180°C	8	10	2"	WIDE ANGLE
LESD-2	1/2	115	1	1.00	12	22.5	180°C	180°C	8	25	2"	WIDE ANGLE
LESD-1	1/2	115	1	1.00	12	22.5	180°C	180°C	8	10	2"	WIDE ANGLE
LESD-2	1/2	115	1	1.00	12	22.5	180°C	180°C	8	25	2"	WIDE ANGLE
LESD-1	1/2	115	1	1.00	12	22.5	180°C	180°C	8	10	2"	WIDE ANGLE
LESD-2	1/2	115	1	1.00	12	22.5	180°C	180°C	8	25	2"	WIDE ANGLE
LESD-1	1/2	115	1	1.00	12	22.5	180°C	180°C	8	10	2"	WIDE ANGLE
LESD-2	1/2	115	1	1.00	12	22.5	180°C	180°C	8	25	2"	WIDE ANGLE
LESD-1	1/2	115	1	1.00	12	22.5	180°C	180°C	8	10	2"	WIDE ANGLE
LESD-2	1/2	115	1	1.00	12	22.5	180°C	180°C	8	25	2"	WIDE ANGLE

LESO-Series Technical Data	
TYPICAL DIMENSIONS (INCHES)	
APPLICABLE	LESO-Series
BOILER VENTILATION SIZE	1/2" (1.27")
MAX LIQUID TEMP	180°C (356°F)
MAX VIBRATION TEMP	180°C (356°F)
THERMAL OVERLOAD	180°C (356°F)
POWER CORD TYPE	3/4" (1.91")
MOTOR HOUSING	CLAS 25 CAST IRON
VOLUME	CLAS 25 CAST IRON
SHAFT	CLAS 25 CAST IRON
WINDING	CLAS 25 CAST IRON
COILS	CLAS 25 CAST IRON
MECHANICAL SEAL	CLAS 25 CAST IRON
WEIGHT	CLAS 25 CAST IRON

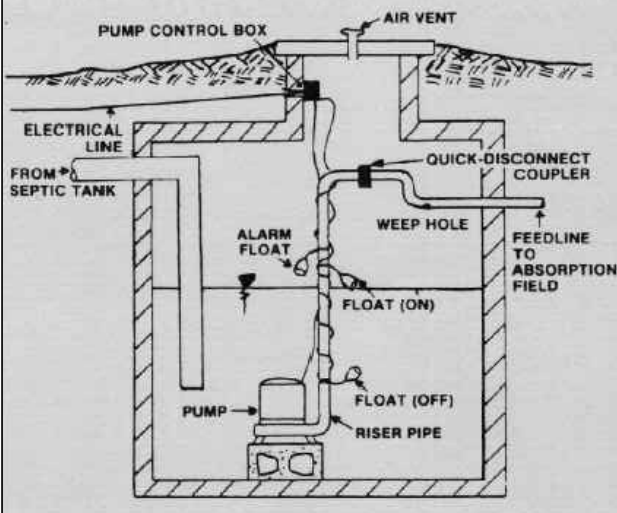
LESO-Series Specifications	
TYPICAL DIMENSIONS (INCHES)	
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WINDING	CLAS 25 CAST IRON
COILS	CLAS 25 CAST IRON
MECHANICAL SEAL	CLAS 25 CAST IRON
WEIGHT	CLAS 25 CAST IRON



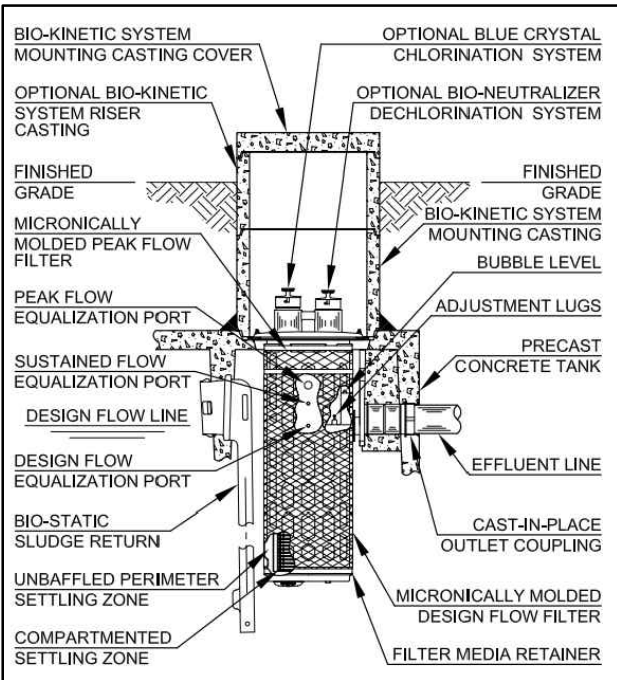
LOCATION MAP

SEPTIC TANK NOTE FOR NEW SYSTEM SITE PLAN:

THERE ARE NOT PERTINENT FEATURES ON ADJACENT PROPERTIES AND OR ACROSS THE STREET THAT MAY AFFECT THE NEW SYSTEM INSTALLATION.



PUMP TANK CAPACITY: 600 GALLONS
SEWAGE PUMP: LIBERTY PUMP



CHLORINATOR / DECHLORINATOR NORWECO

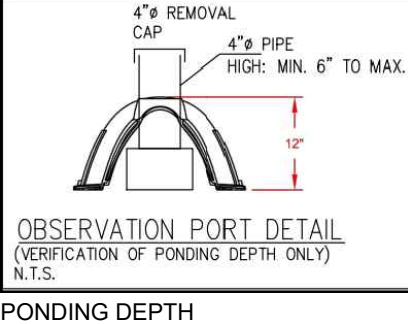
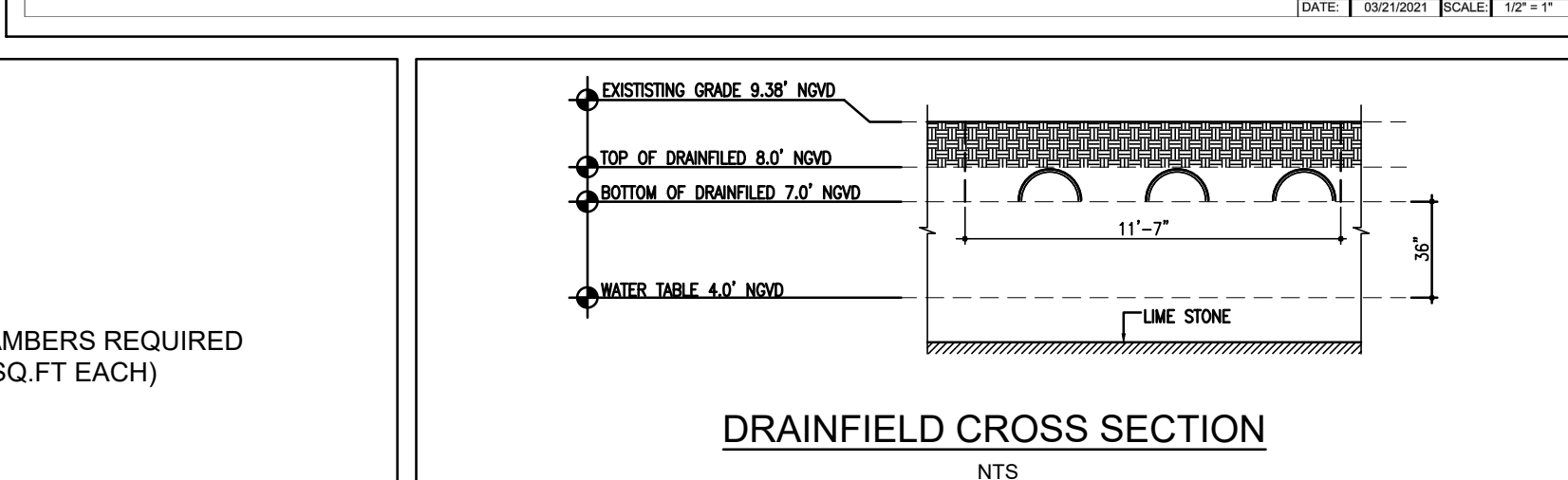
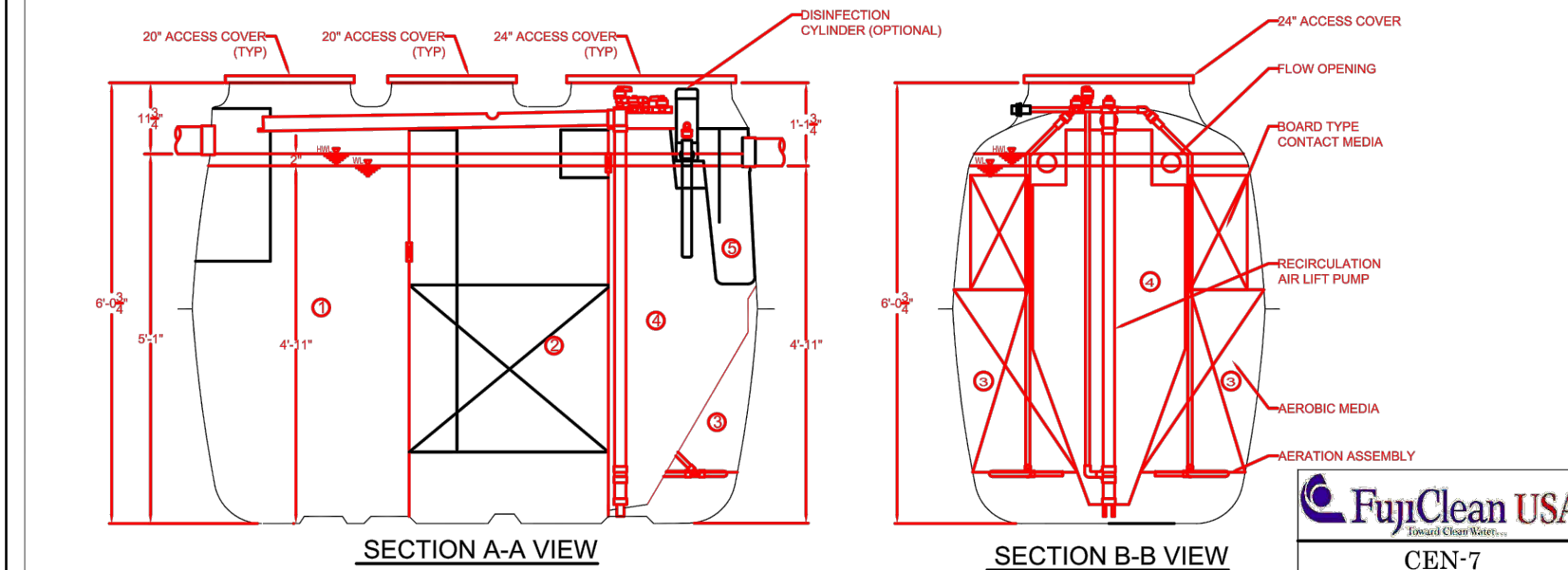
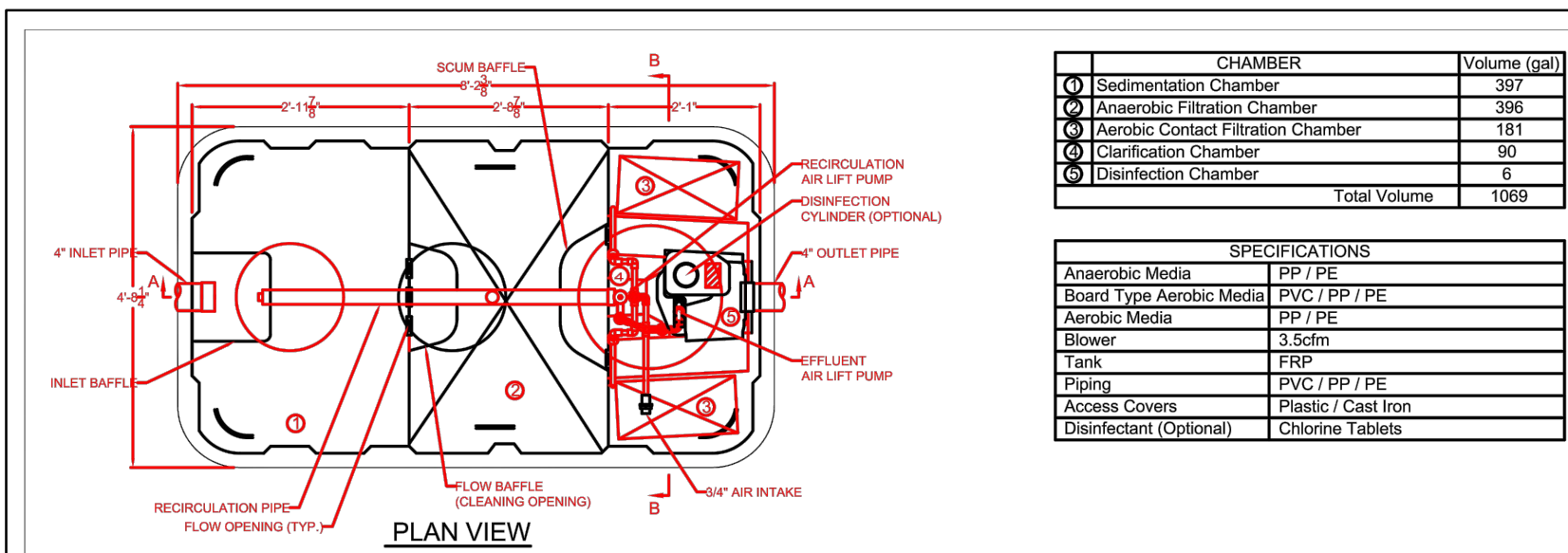
ON SITE SEWAGE AND DISPOSAL SYSTEM CALCULATION

6 BEDROOMS 6,984 SF UNDER A/C
ESTIMATED SEWAGE FLOW CALCULATION = 700 GPD
DRAINFIELD AREA (TRENCH) 700 GPD/0.8 = 875 SQ.FT.
RESERVE AREA REQUIRED = 438 SQ.FT.

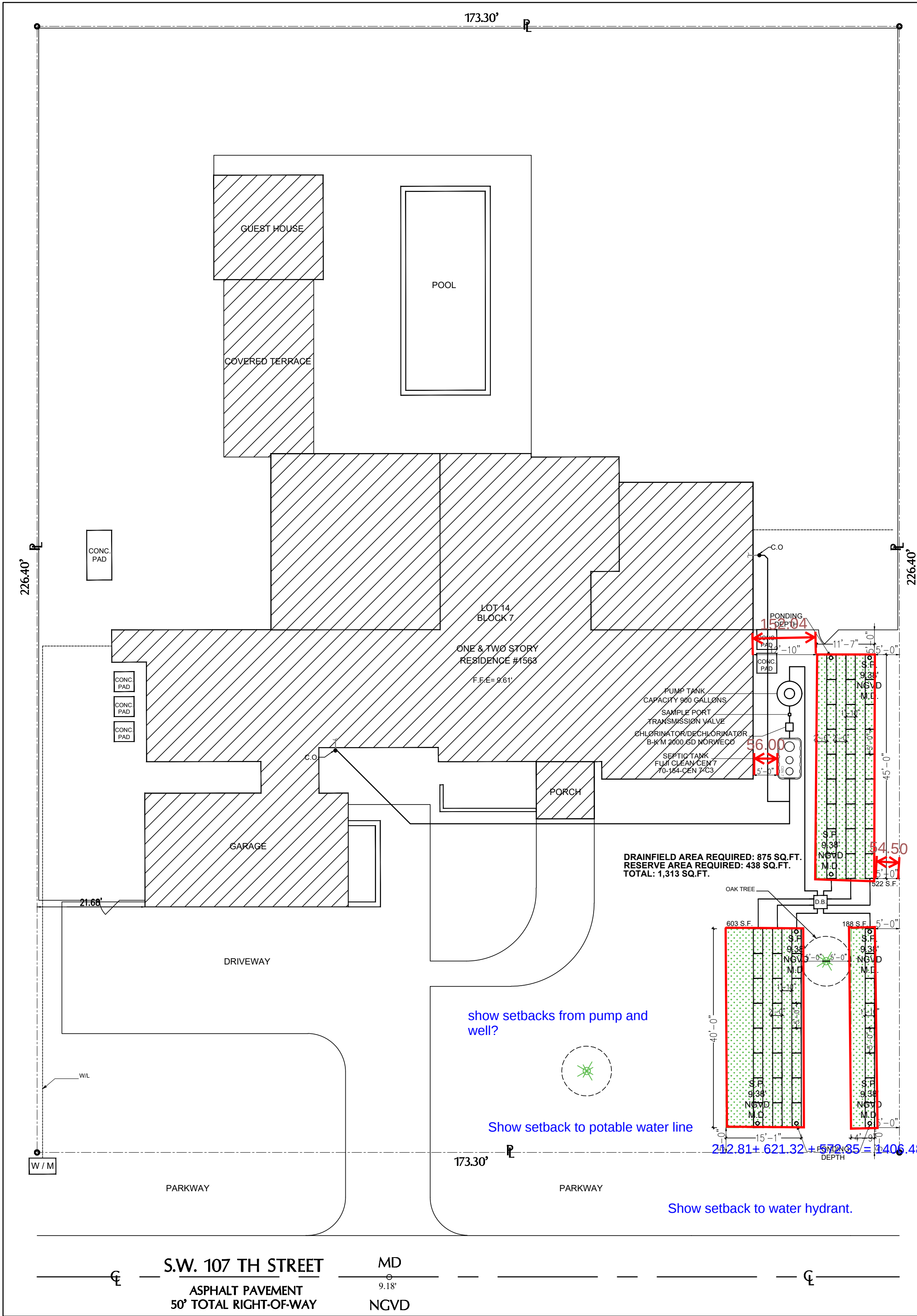
875 SQ.FT. DF AND RESERVED AREA 438 SQ.FT. = 59 CHAMBERS REQUIRED
CHAMBER SYSTEM: ARC 24 PROVIDE 59 CHAMBERS (15 SQ.FT EACH)
TRENCH WIDTH: 24 IN.

ENGINEER'S SEPTIC CERTIFICATION NOTE:

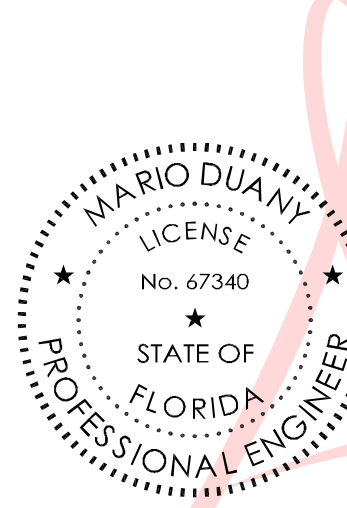
I CERTIFY THAT THE ENGINEERING FEATURES FOR THIS PERFORMANCE BASED TREATMENT SYSTEM (PBTS) HAS BEEN DESIGNED OR SPECIFIED BY ME AND CONFORMS TO ENGINEERING PRINCIPALS APPLICABLE TO THESE TYPE PROJECT.
CONSTRUCTED, OPERATED AND MAINTAINED, WILL ACHIEVE THE APPLICABLE STANDARDS OF THE STATE OF FLORIDA'S CHAPTER 62-6 OF THE FLORIDA ADMINISTRATIVE CODE (F.A.C.) AND THE FLORIDA DEPARTMENT OF HEALTH.



PONDING DEPTH



SITE PLAN
scale: 1/16" = 1'-0"



Digitally signed by Mario Dusny
DN: cn=Mario Dusny, o=MDS Engineering
ZCorp, ou,
email=marioduan y@mdsengineerin gcorp.com, c=US
Date: 2024.07.29 22:10:28 -04'00'

THIS ITEM HAS BEEN DIGITALLY AND SEALED BY MARIO DUANY, P.E. ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS	Description	No

MDS
Engineering Corporation
C.A. #: 28051
7850 SW 132nd Avenue
Miami, Florida 33156
Email: mduany@mdsengineeringcorp.com
cell: 755-436-7062
MARIO DUANY, P.E., CEC, CMC, CFC, LEED AP
P.E. #67340
CFC #1332968
CMC #255450
CFC #430127

Stamp:
SEPTIC SYSTEM PLAN

OWNER: CHRISTOPHER MONTERO
LISA MONTERO
ADDRESS: 6445 SW 107 ST
PINECREST, FL 33156

OM.R. Drawn
M.D. Checked
07-26-24 Date
AS SHOW Scale
Job NO.
Sheet
SP - 1
SHEETS 1 OF 1

1.	CONTRACTOR SHALL VISIT AND BECOME FAMILIAR WITH THE EXISTING CONSTRUCTION, INCLUDING ACCESSIBILITY, EXISTING SITE STRUCTURES, RESIDENCE STRUCTURES, M.E.P. FIXTURES, ETC. AND CONFIRM ALL EXISTING CONDITIONS SHOWN ON PLANS ARE APPLICABLE BEFORE BIDDING JOB.	18.	BECAUSE OF THE FRAMING BASED DRAWING AND ALL STRUCTURE PLANS WITH NO OTHER EXIST, ENGINEER
2.	CONTRACTOR SHALL SATISFY CITY AND STATE REQUIREMENTS FOR IDENTIFICATION AND REMOVAL OF HAZARDOUS MATERIALS, INCLUDING, BUT NOT LIMITED TO ASBESTOS, LEAD, ETC.		
3.	MATERIALS SCHEDULED FOR REMOVAL AND DISPOSAL SHALL BE HAULED AWAY FROM SITE, AND PROPERLY DISPOSED IN ACCORDANCE TO APPLICABLE CITY AND COUNTY REGULATIONS.	19.	G.C. SHALL AND CO
4.	DEMOLITION SCHEDULE SHALL BE COORDINATED WITH OWNER. PROVIDE AND MAINTAIN TEMPORARY COVERINGS, TO ENSURE PROTECTION OF ALL INTERIOR AREAS FROM THE WEATHER.		
5.	IT IS THE INTENT OF THE ARCHITECT THAT THE WORK DESCRIBED IN THESE DRAWINGS BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE FLORIDA BUILDING CODE RESIDENTIAL, LATEST EDITION, AND OTHER APPLICABLE BUILDING REGULATIONS. THE CONTRACTOR SHALL PERFORM THE WORK IN COMPLIANCE WITH THESE DOCUMENTS AND THE REQUIREMENTS SET FORTH IN ALL APPLICABLE CODES AND REGULATIONS.		
6.	THE CONTRACTOR SHALL REVIEW THESE DRAWINGS IN IT'S ENTIRETY AND ALL EXISTING SITE CONDITIONS INCLUDING FIELD DIMENSIONS IN A TIMELY MANNER AND SHALL REPORT TO THE AOR OR EOR ANY DISCREPANCIES FOUND PRIOR TO PROCEEDING WITH WORK.		
7.	THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, SLEEVES, OPENINGS, DEPRESSIONS AND PITCHES AS REQUIRED TO ACCOMMODATE OTHER WORK.		
8.	ALL SECTIONS AND DETAILS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR CONDITION, UNLESS SPECIFICALLY NOTED OTHERWISE.		
9.	THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND MAY NOT BE USED, DISTRIBUTED OR REPRODUCED WITHOUT EXPRESS WRITTEN CONSENT.		
10.	CONTRACTOR SHALL VISIT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND FINISHES. ALL FINISHES ADJACENT TO THE SCOPE OF WORK ARE TO BE REPAIRED / RE-FINISHED TO MATCH EXISTING COORDINATE ALL FINISHES WITH OWNER.		
11.	CODE IN EFFECT IS THE FLORIDA BUILDING CODE RESIDENTIAL 2020		
12.	CONTRACTOR SHALL EXERCISE CARE WHEN WORKING OVER SEPTIC TANK SUYSTEMS. NO HEAVY EQUIPEMENT OR STOCKPILING SHALL BE ALLOWED OVER THESE AREAS. SEE SHEET SP-1.		
13.	UPON COMPLETION OF PROTECT G.C. SHALL PROVIDE ELEVATION CERTIFICATE.		
14.	PRIOR TO PLACEMENT OF SLAB G.C. MUST VERIFY THAT THE FINISH FLOOR ELEVATION MATCHES THE FINISH FLOOR ELEVATION ON THE PLANS. FINISH FLOOR SLAB TO BE A MIN OF 1 FT HIGH ABOVE THE BASE FLOOR ELEVATION IF IN A FLOOD ZONE.		
15.	CONTRACTOR SHALL VISIT THE SITE AND REVIEW ALL PERTINENT UTILITY DRAWINGS TO FAMILIARIZE HIMSELF WITH THE LOCATION OF ALL EXISTING AND / OR PROPOSED UTILITY STUBS OUT, PIPING, INVERT, EQUIPMENT, ETC AND MAKE DUE ALLOWANCES FOR ANY CONDITION AFFECTING HIS WORK.		
16.	LANDSCAPE NOTE: CONTRACTOR TO PROVIDE 6'-8" BARRIERS AROUND TREES LESS THAN 18" IN DIAMETER AND 10'-12' BARRIERS AROUND TREES 18 INCHES IN DIAMETER OR GREATER		
17.	CONTRACTOR RESPONSIBLE TO FIELD VERIFY EXISTENCE AND LOCATION OF SEWER LATERAL AND WATER METER PRIOR TO BIDDING AND CONSTRUCTION. CONTRACTOR TO FIELD VERIFY AND COORDINATE.		

LEGAL DESCRIPTION:
 LOT 14 BLOCK 7 OF HELMS COUNTRY ESTATES
 ADDITION ACCORDING TO THE PLAT THEREOF
 AS RECORDED IN PLAT BOOK 51 PAGE 64 OF
 THE PUBLIC RECORDS OF MIAMI DADE COUNTY.

- CLASSIFICATION ALTERATION LEVEL**

CODE REFERENCES:
FLORIDA BUILDING CODE (EXISTING) 2020, 7TH EDITION:

CHAPTER 5:
SECTION 502 ADDITIONS
SECTION 503 ALTERATIONS

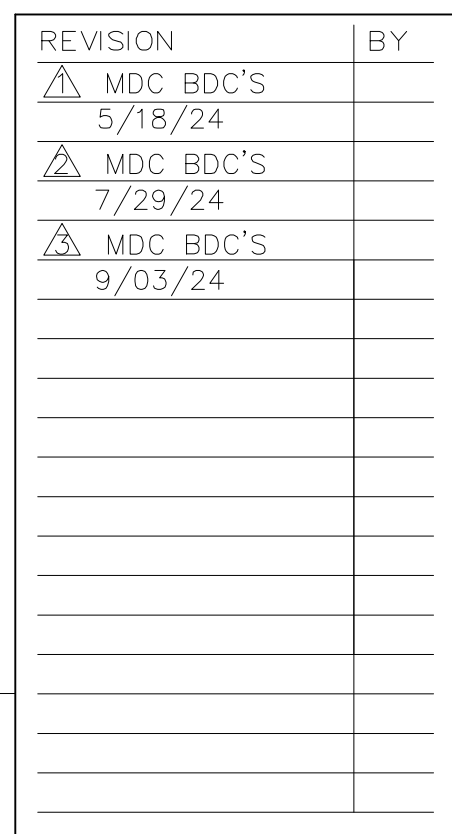
CHAPTER 6:
SECTION 603.1 ALTERATION-LEVEL 2
CHAPTER 8 ALTERATION-LEVEL 2

EXISTING WATER METER

W.M.

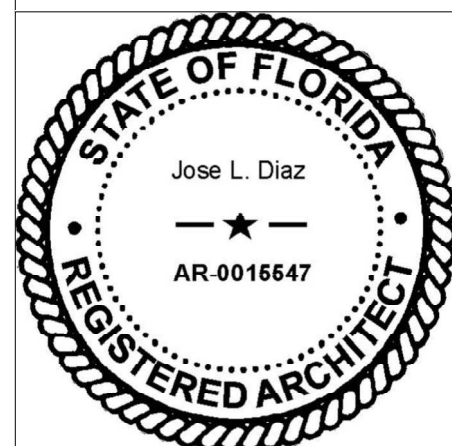
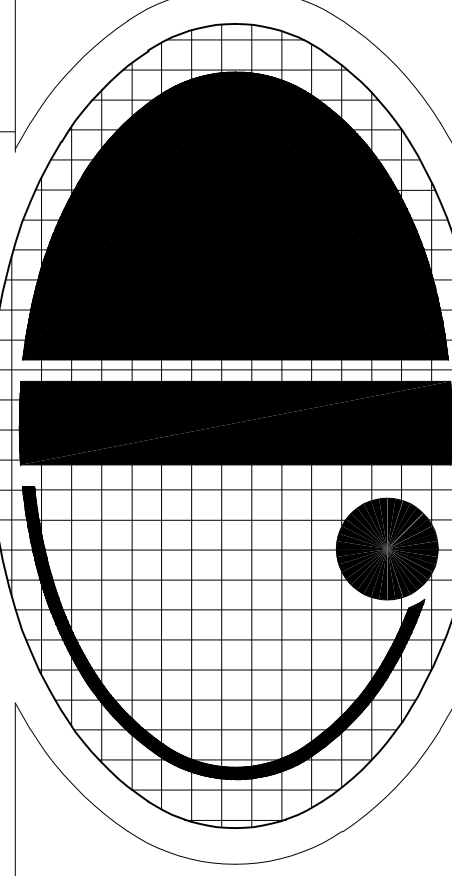
TOTAL SQUARE FOOTAGE, BEDROOM AND BATHROOM COUNT AFTER RENOVATION

(5) BEDROOMS / (1) GUEST HOUSE / (6.5) BATH	
MAIN HOUSE A/C LIVING AREA	6,522 A/C SQ. FT.
GUEST HOUSE A/C LIVING AREA	462 A/C SQ. FT.
	6,984 TOTAL A/C SQ. FT. LIVING AREA
GARAGE	927 NON A/C SQ. FT.
COVERED REAR TERRACE	632 NON A/C SQ. FT.
FRONT PORCH	134 NON A/C SQ. FT.
GARAGE MAIN HOUSE CONNECTOR	73 NON A/C SQ. FT.
PUMP HOUSE	75 NON A/C SQ. FT.
	8,825 TOTAL GROSS SQ. FT.



RENOVATION AND ADDITION
FOR:
CHRISTOPHER AND LISA MONTERO
LOCATED AT:
6445 SW 107 STREET
VILLAGE OF PINECREST, FLORIDA

J L D
ARCHITECT
CORPORATION
AA-26003440
8592 s.w. 169th terrace
miami, florida 33157
(305) 310-5992



JOSE L. DIAZ, ARCHITECT
AR-0015547

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DN: CN=Jose L. Diaz,
E=jld@jldarchitect.com,
G=Jose L., SN=Jose L.,
C=US
Date: 2024.09.09
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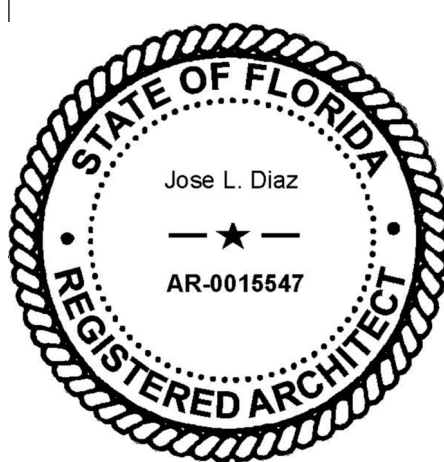
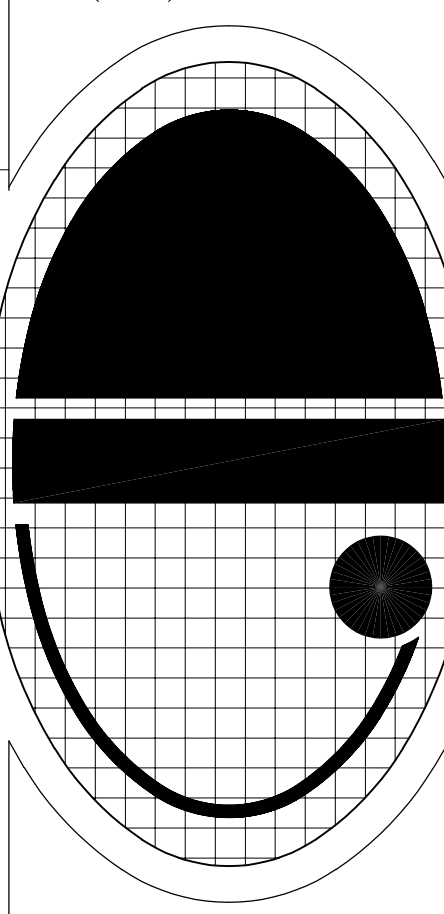
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RENOVATION AND ADDITION
FOR:
CHRISTOPHER AND LISA MONTERO
LOCATED AT:
6445 SW 107 STREET
VILLAGE OF PINECREST, FLORIDA

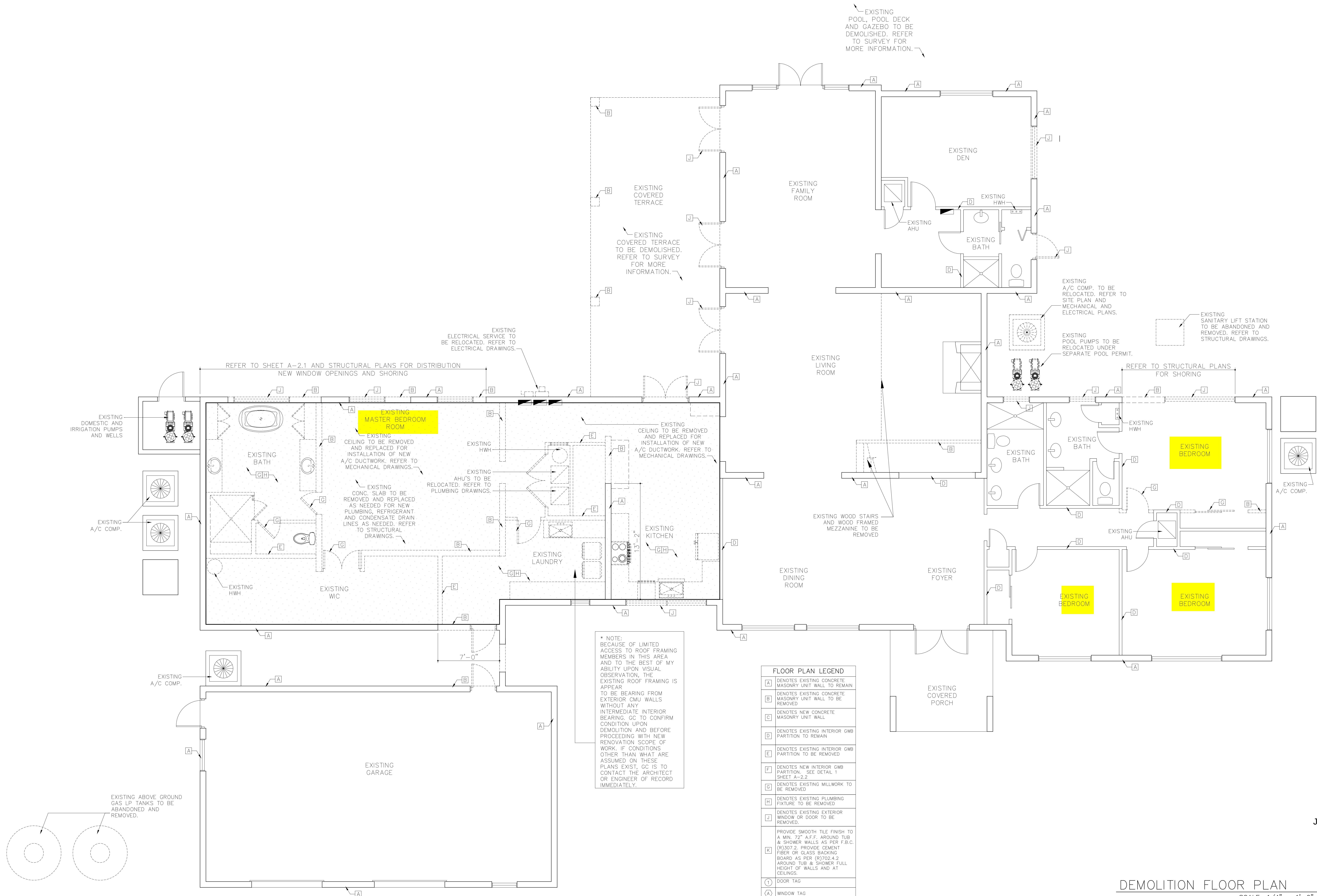
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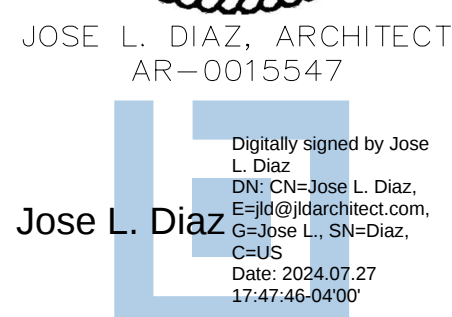
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DN: CN=Jose L. Diaz,
E=jd@jldarchitect.com,
C=US, SN=Diaz,
Date: 2024.01.28
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SHEET
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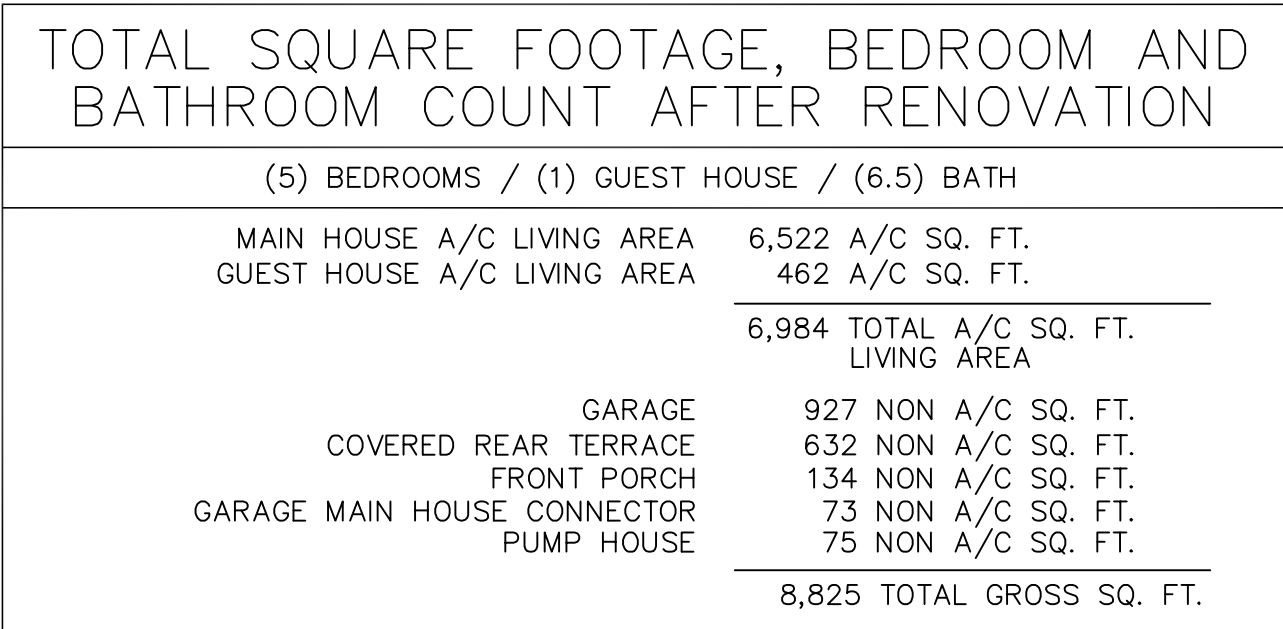
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RENOVATION FLOOR PLAN
SCALE: 1/4" = 1'-0"

Miami Dade County Department of Regulatory and Economic Resources - Job Copy
20240808008 - 9/23/2024 7:43:23 PM
A-2.1 floor plan_07292024.pdf

Examiner	Date	Time	Stamp	Trade	Stamp Name
CASTELLANOS, LEYSI	9/23/2024	9:52:08 AM	DERM	Approved	
VALDIVIESO, JOSE	9/20/2024	12:30:23 PM	HRS	Approved	

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INTERIOR DOOR SCHEDULE						
MK	UNIT SIZE		DOOR TYPE	DOOR MATERIAL	FRAME MATERIAL	REMARKS
	WIDTH	HEIGHT				
1	34"	80"	SOLID/SWING	WOOD	WOOD	
2	30"	80"	SOLID/SWING	WOOD	WOOD	
3	30"	80"	LOUVERED/SWING	WOOD	WOOD	FULL LOUVERED
4	28"	80"	SOLID/SWING	WOOD	WOOD	
5	34"	80"	SOLID/SWING	WOOD	WOOD	SELF CLOSING / 20 MINUTE FIRE RATED

HEAD

KNOCKDOWN FINISH TEXTURE ON UNDERSIDE OF GWS

UNDERSIDE OF TRUSS

SEALANT BEAD

CONTINUOUS ZGA, 3-5/8" OR 6" C-SHAPED STEEL PLATE (REFER TO FLOOR PLANS FOR PARTITION SIZE)

1/2" GYPSUM WALLBOARD, TYP.; 1/2" CEMENTITIOUS BOARD @ WET WALLS

3-5/8" OR 6" C-SHAPED STEEL STUD MIN-20-GA @ 24" O.C.

20GA, FOR WALL-HUNG FIXTURES AND WET WALLS, SPACED @ 18" O.C.

3-1/2" GLASS FIBER-BATT INSULATION WHERE SHOWN ON PLANS

CONTINUOUS ZGA, 3-5/8" OR 6" C-SHAPED STEEL BOTTOM PLATE (REFER TO FLOOR PLANS FOR PARTITION SIZE)

FLOOR AND BASE, AS SCHEDULED

TOP OF CONCRETE SLAB

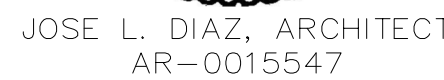
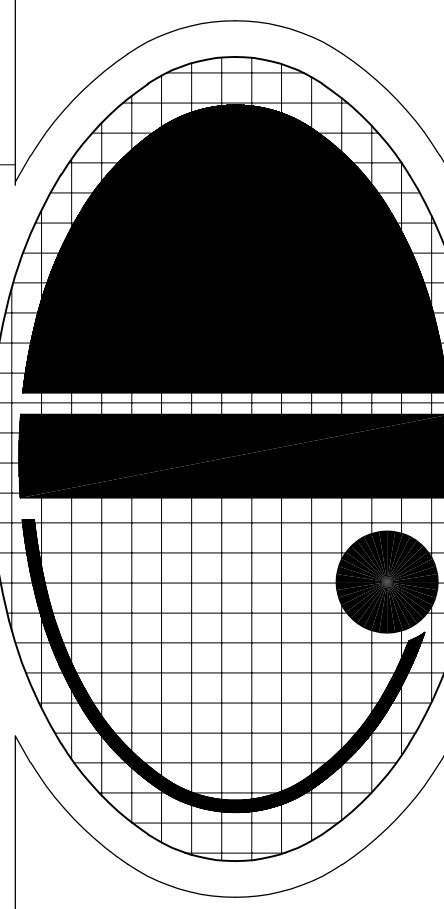
BASE

FASTENER

SEALANT BEAD

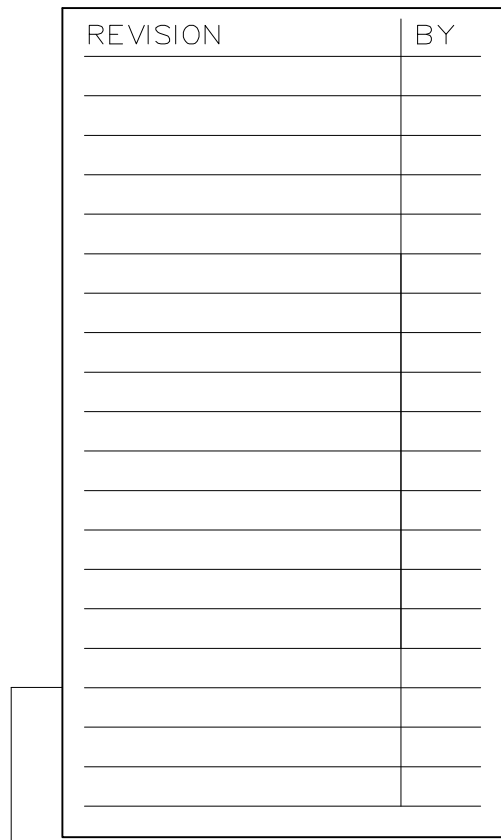
RENOVATION FLOOR PLAN

SCALE: $1/4" = 1'-0"$

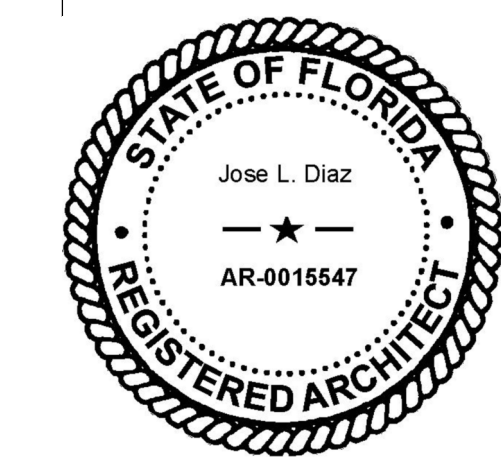
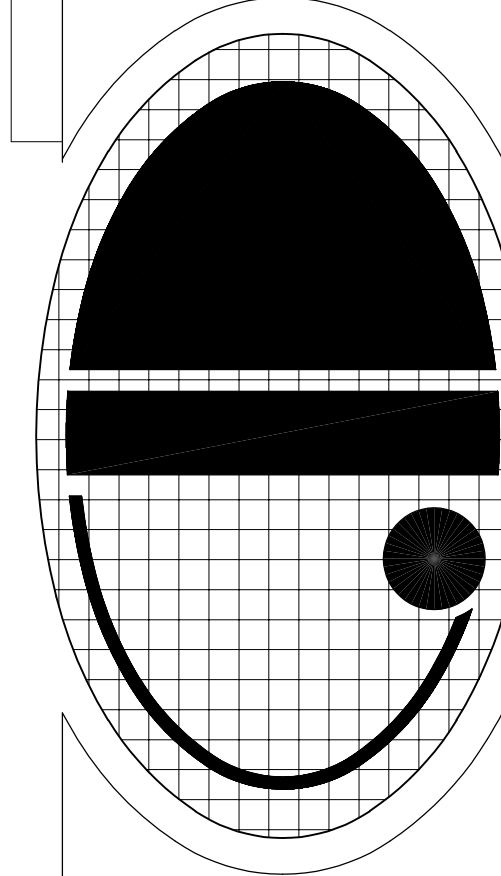


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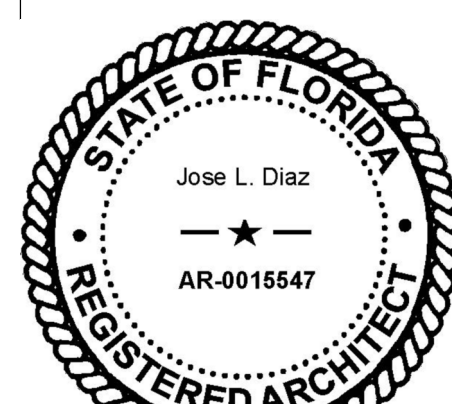
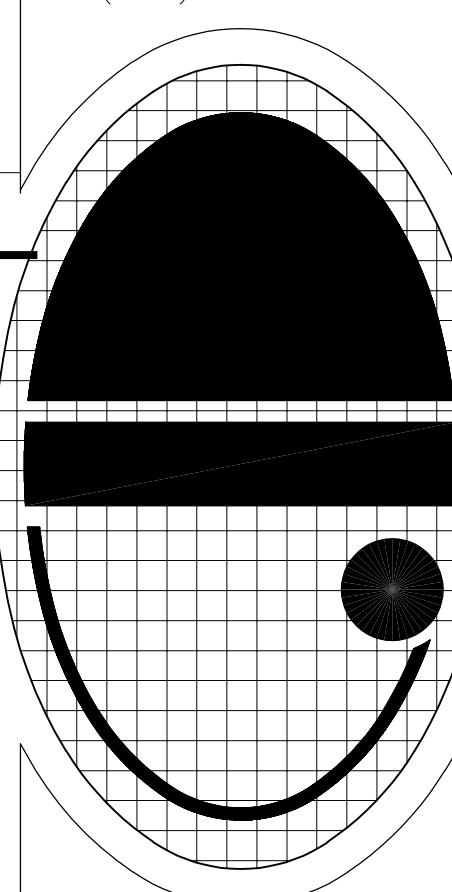
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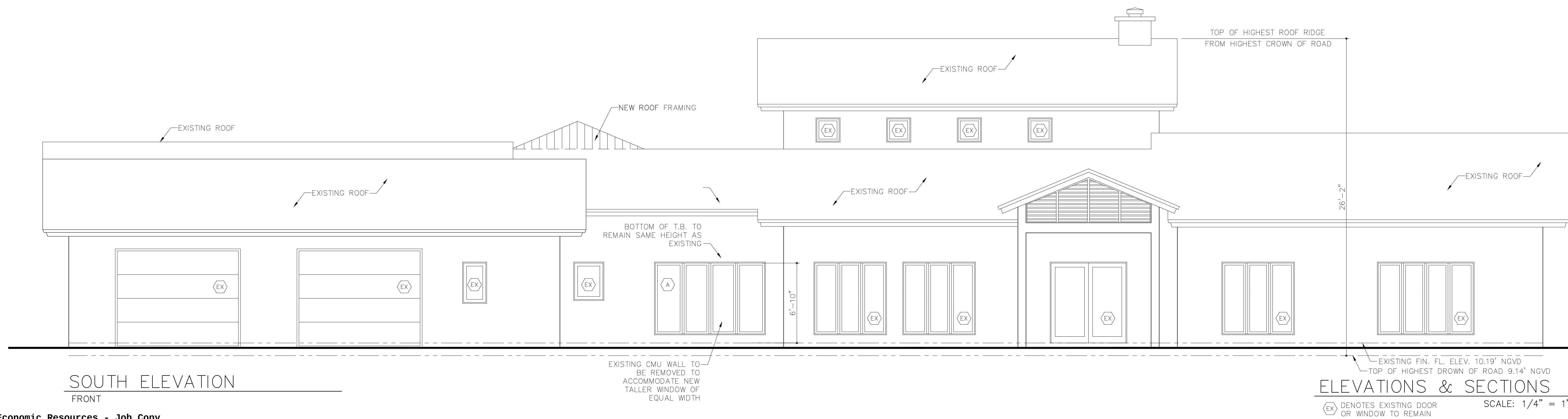
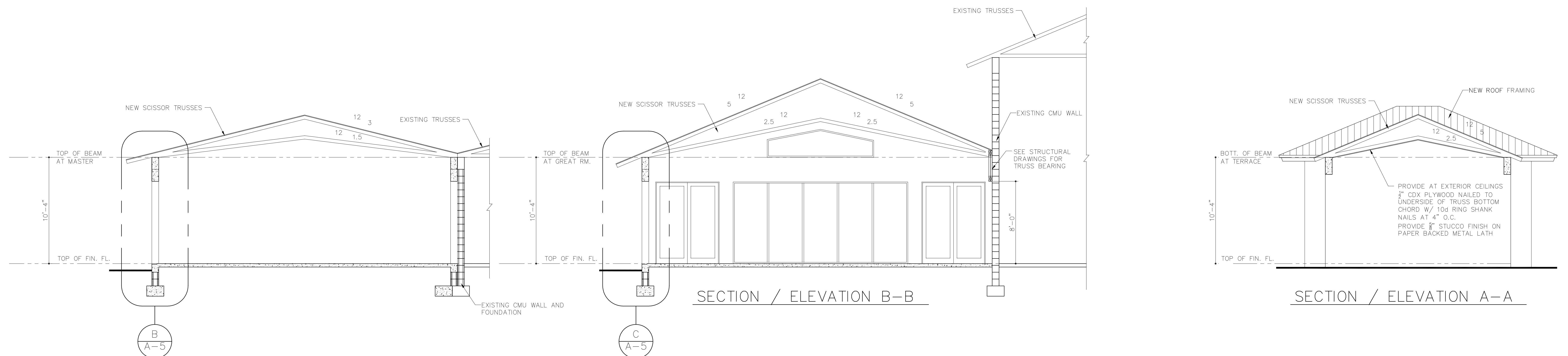
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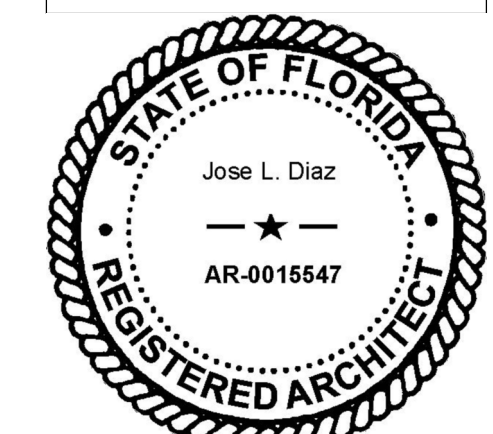
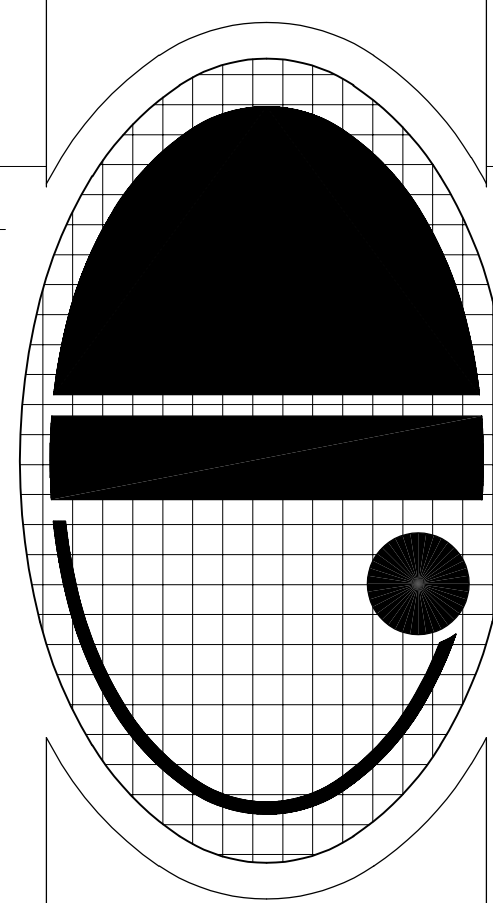
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RM _____ AP-0015547

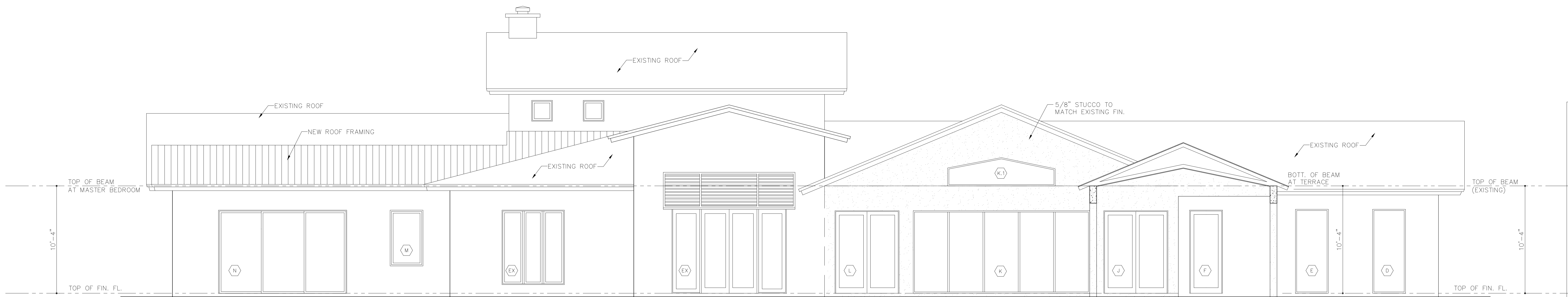
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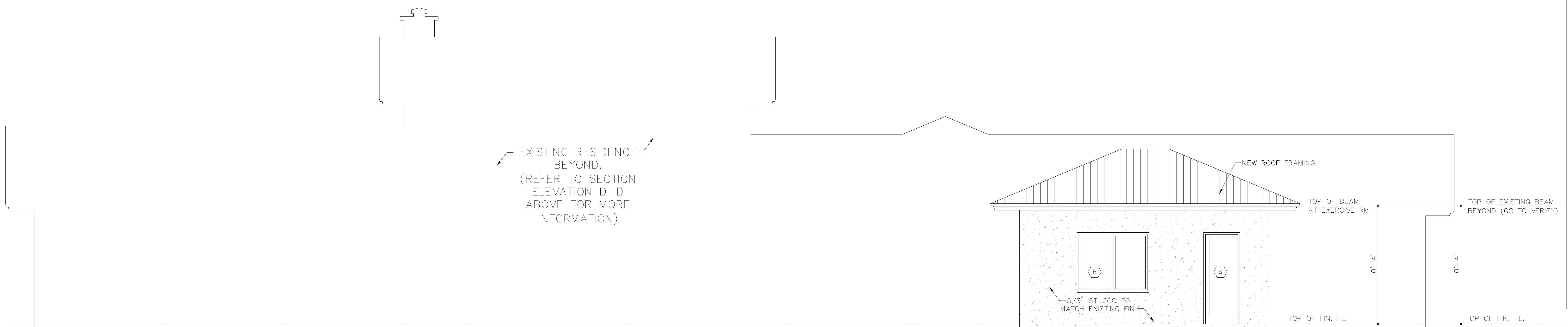
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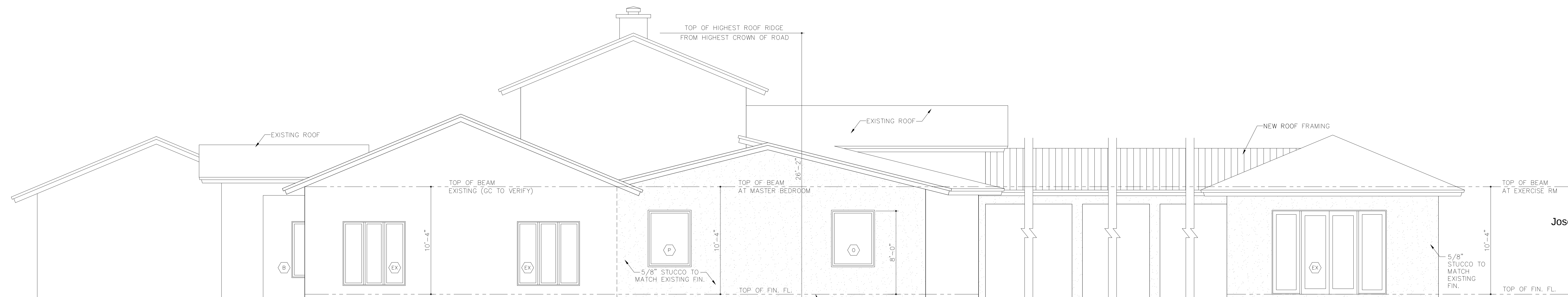
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SECTION / ELEVATION D-D



NORTH ELEVATION
REAR



EAST ELEVATION
RIGHT

ELEVATIONS & SECTIONS

 DENOTES EXISTING DOOR
 SCALE: 1/4" = 1'-0"