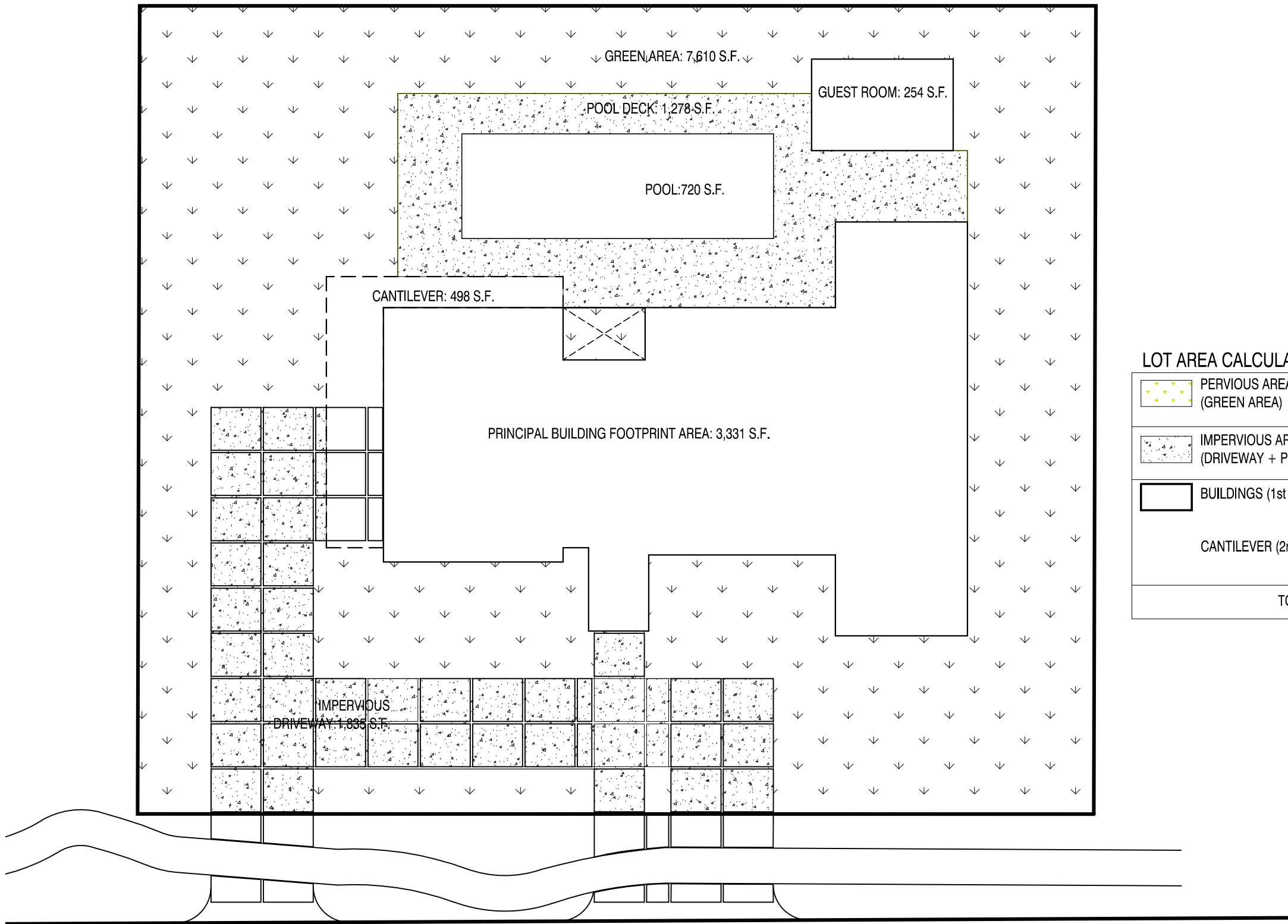
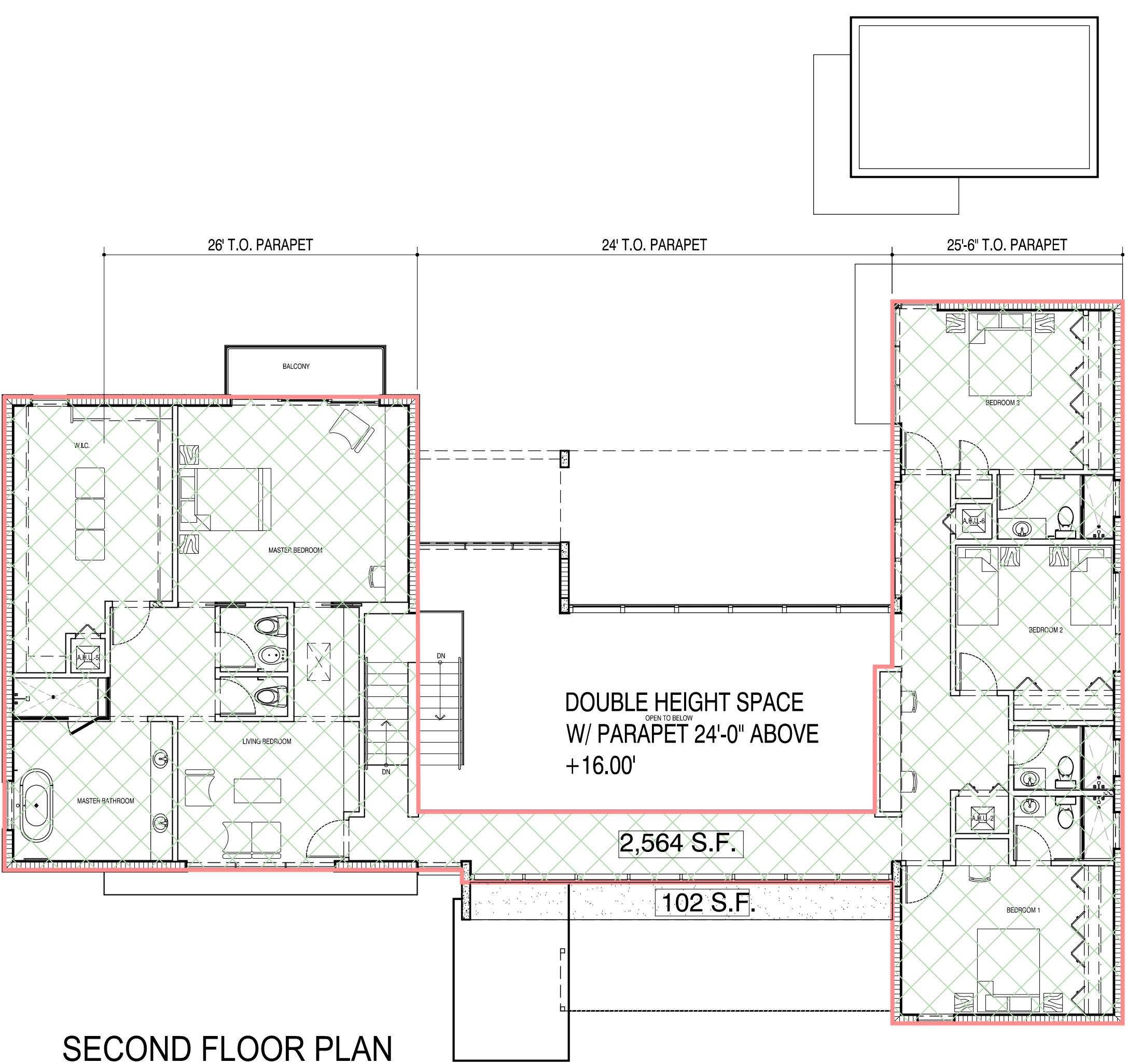




AREA CALCULATIONS

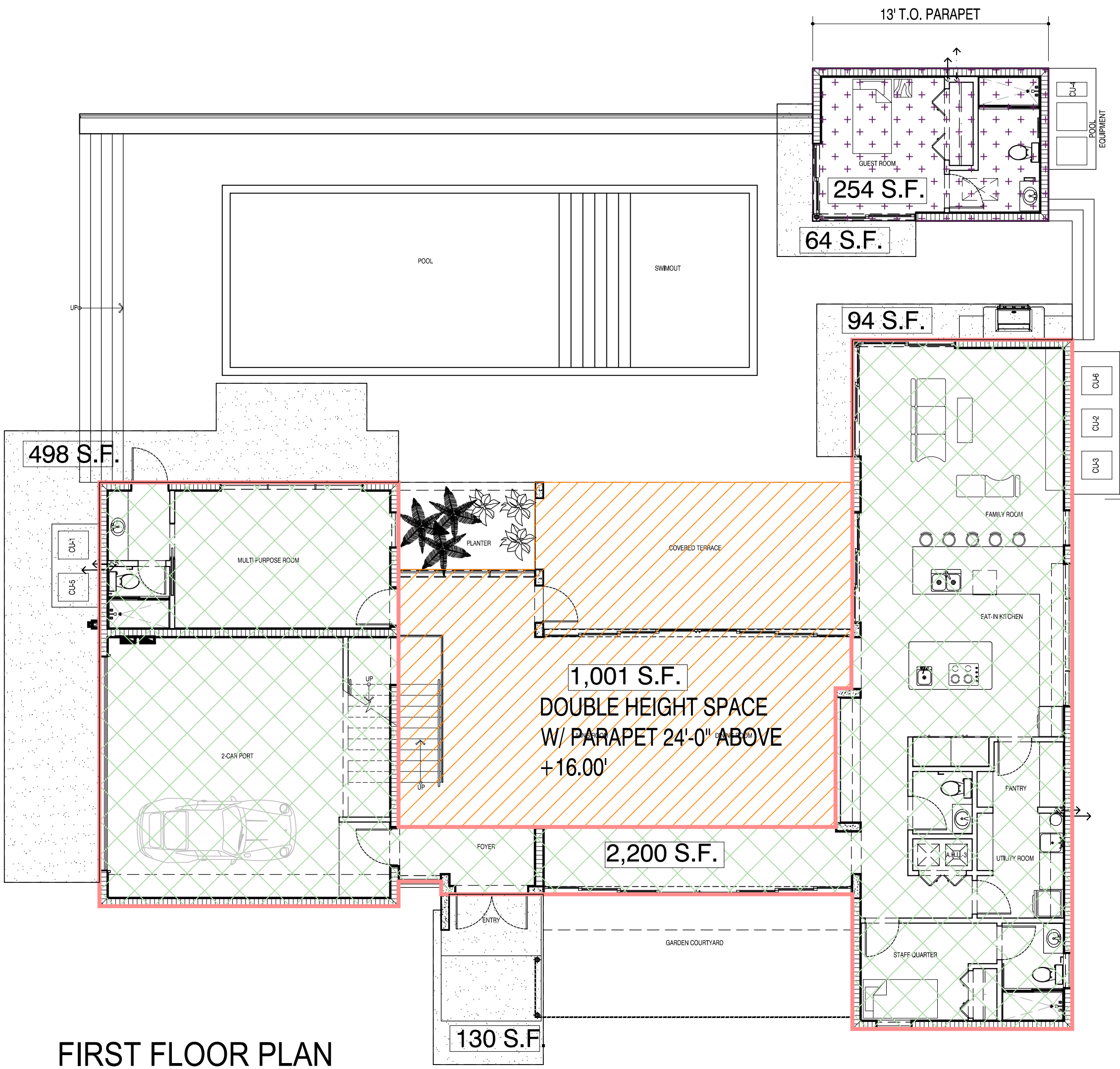
N.T.S.

LOT AREA CALCULATION			
PERVIOUS AREA (GREEN AREA)	7,262 S.F.	47.85%	OPEN SPACE 11,095 S.F. (73.10%)
IMPERVIOUS AREA (DRIVEWAY + POOL + POOL DECK)	3,833 S.F.	25.25%	
BUILDINGS (1st LEVEL)	3,585 S.F.	23.62%	LOT COVERAGE 4,038 S.F. (26.90%)
CANTILEVER (2nd LEVEL)	498 S.F.	3.28%	
TOTAL	15,178 S.F.	100.0%	



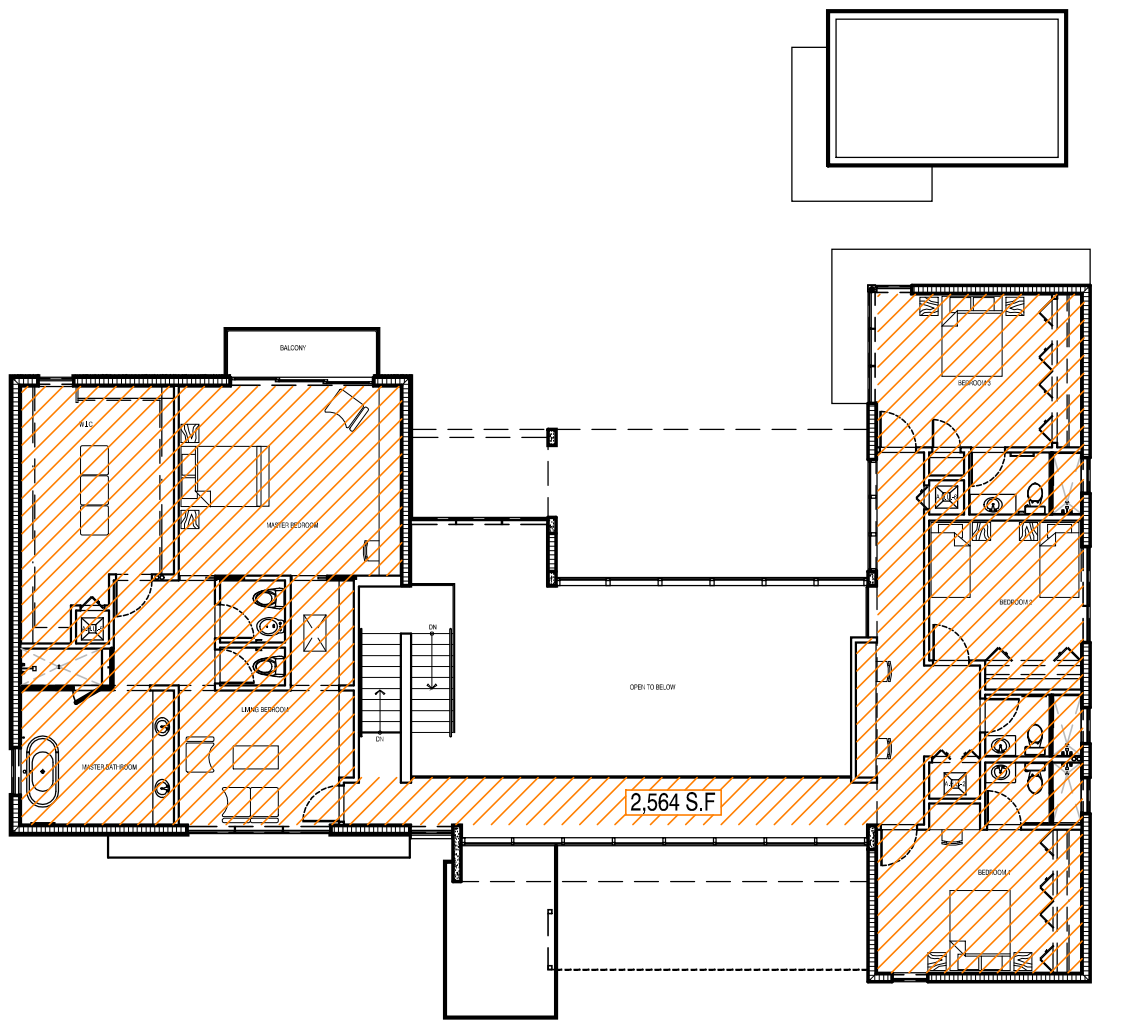
SECOND FLOOR PLAN

N.T.S.

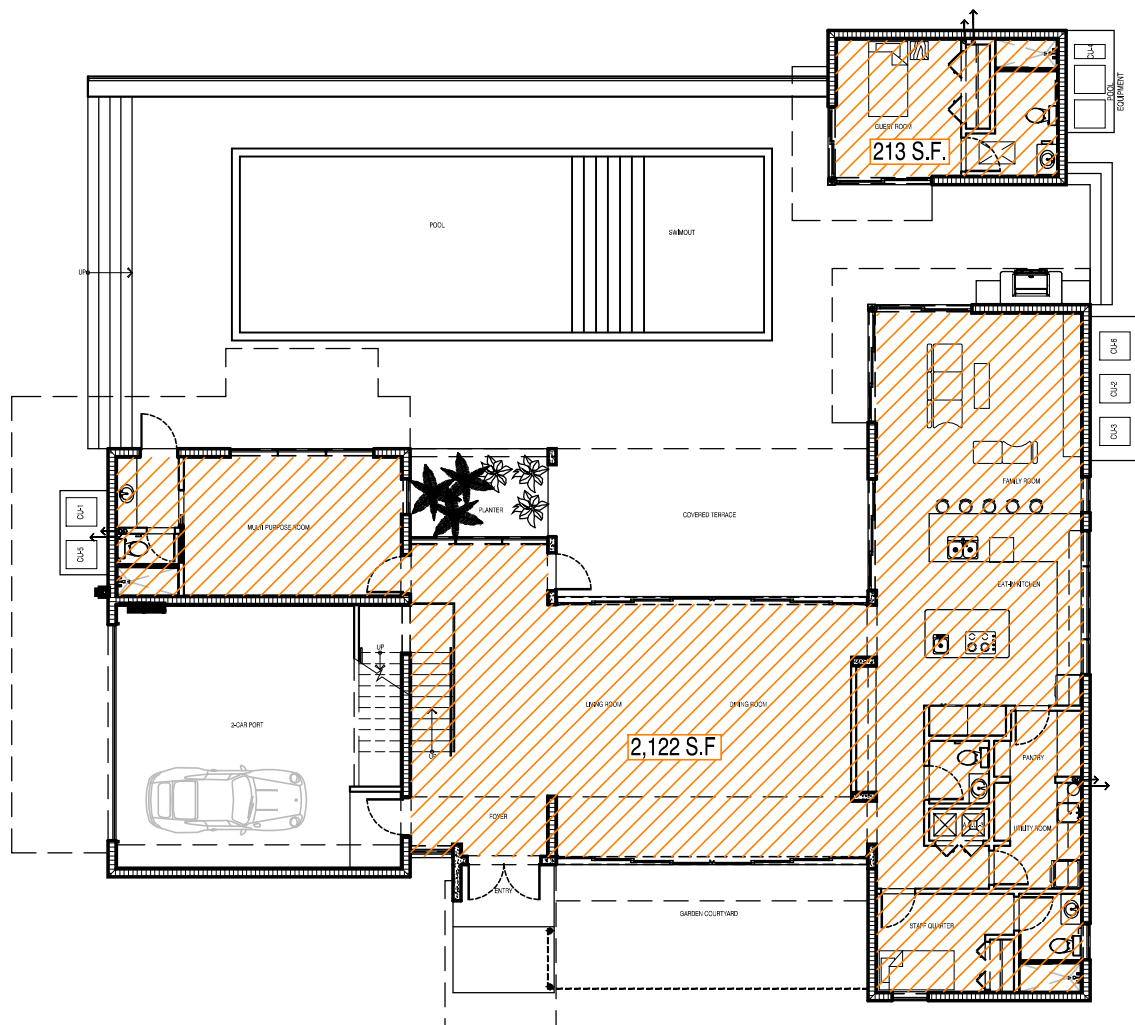


FIRST FLOOR PLAN

N.T.S.



2nd. FLOOR PLAN



1st. FLOOR PLAN

PERIMETER LINE DRAWING OF A/C

N.T.S.

LEGEND:	1st. LEVEL F.A.R.:	2nd. LEVEL F.A.R.:
	254 S.F.	-
ONE STORY SPACES BELOW 24'-0" T.O. PARAPET	1,001 S.F.	-
ONE STORY HIGH SPACES BELOW 24'-0" T.O. PARAPET	2,200 S.F.	2,564 S.F.
TWO STORIES SPACES BELOW 27'-0" T.O. PARAPET	-	-
ROOF CANTILEVER AREA	3,455 S.F. (22.76%)	2,564 S.F. (16.89%)

- MAX. BUILDING HEIGHT: 28'-0" TOP OF PARAPET
- MAX. ROOF ELEVATION: 24'-0"

FLOOR AREA RATIO CALCULATION

N.T.S.

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MECHANICAL ENGINEER: ORLANDO RANGEL, P.E. - 60225
9940 SW 37th STREET, MIAMI, FLORIDA 33165
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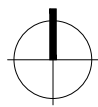
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860 SW 21st STREET MIAMI, FLORIDA 33135
TEL.: 786-289-9414 andredm25@gmail.com

LANDSCAPE ARCHITECT: 07/06/2022

SCALE: 1/2" = 1'-0" ARCHITECT: HUMBERTO RAMOS
AIA 0017833

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KEY PLAN: AREA CALCULATION
& FRONT WALL



COMM. NO.: 17-117 NO: REVISION: DATE:

DATE: JANUARY, 2022

DRAWN BY:

CONTENT: SITE PLAN

SHEET NUMBER:

A-1.1